
UNIVERSITY OF COLORADO 1135 BROADWAY RENOVATION

BOULDER, COLORADO | 6.12.2020 | DESIGN REVIEW BOARD | DESIGN DEVELOPMENT REVIEW

INTRODUCTION

PROJECT INTENT PROJECT GOALS

- TO PROVIDE SPACES THAT PROMOTE OCCUPANT HEALTH AND WELLNESS AND SUPPORT THE VISION OF THE RCWI
- TO REDISCOVER THE ORIGINAL ARCHITECTURE AND BUILDING QUALITY
- TO IMPROVE SITE-LANDSCAPE FUNCTION, SAFETY AND QUALITY

SUSTAINABILITY GOALS

- LEED V4 GOLD
- **40%** INDOOR WATER USE REDUCTION
- BUILDING ENVELOPE IMPROVEMENTS
- **38%** ENERGY COST REDUCTION
- TARGET EUI CAMPUS GOAL OF **35 KBTU/SF/YR**, AND BELOW LEED BASELINE OF **48 KBTU/SF/YR**
- FUTURE ADDITION OF RENEWABLES

PROJECT SCHEDULE



BIDDING	August 2020
CONSTRUCTION START	October 2020
CONSTRUCTION COMPLETION	September 2021
FIT UP	October 2021
OCCUPANCY	October 2021



PROJECT BUDGET

PROFESSIONAL FEES	\$901,844
CONSTRUCTION	\$4,018,980
EQUIP, FURNISHINGS MISC	\$528,318
CONTINGENCY 10%	\$541,614
TOTAL PROJECT BUDGET	\$5,991,056



MICRO-MASTERPLAN

 BUS STOP
 PROPERTY LINE

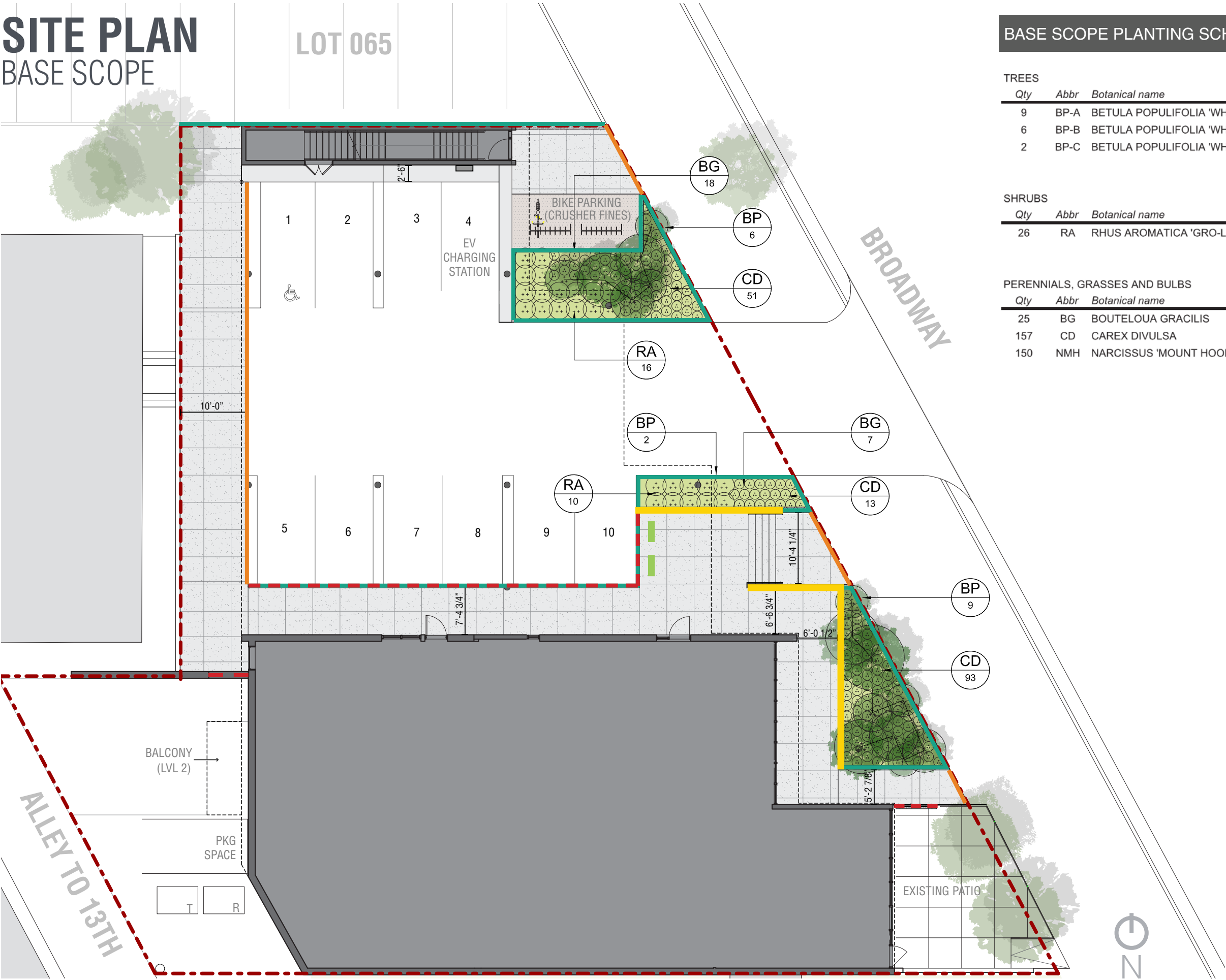
 PEDESTRIAN CIRCULATION
 VEHICULAR APPROACH





SITE PLAN
BASE SCOPE

LOT 065



BASE SCOPE PLANTING SCHEDULE

TREES				
Qty	Abbr	Botanical name	Common name	Size
9	BP-A	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	10' - 12' Ht
6	BP-B	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	12' - 15' Ht
2	BP-C	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	15' - 20' Ht
SHRUBS				
Qty	Abbr	Botanical name	Common name	Size
26	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15" - 18" Ht
PERENNIALS, GRASSES AND BULBS				
Qty	Abbr	Botanical name	Common name	Size
25	BG	BOUTELOUA GRACILIS	BLUE GRAMA	1 gal
157	CD	CAREX DIVULSA	GRASSLAND SEDGE	1 gal
150	NMH	NARCISSUS 'MOUNT HOOD'	MOUNT HOOD NARCISSUS	8/+ cm

SITE ELEMENTS KEY

- HANDRAIL (34" - 42" VARIES)
- BOARD FORM CONCRETE WALL WITH RAILING
- BOARD FORM CONCRETE BENCH
- 6" CONCRETE CURB
- DOWELED JOINT WITH EXISTING PAVING (FLUSH)

SITE AND LANDSCAPE MATERIALS

BASE SCOPE



CONCRETE PAVING



BIKE RACKS



CRUSHER FINES



EXISTING HANDRAILS



BOARD FORM CONCRETE



ETCHED CONCRETE SIGNAGE

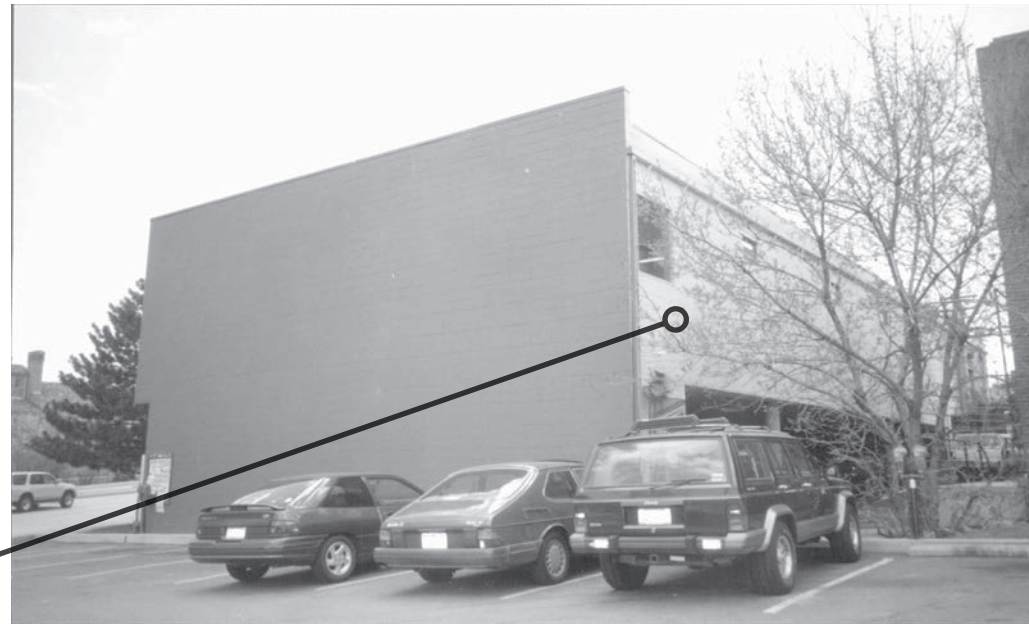


BOARD FORM CONCRETE BENCHES

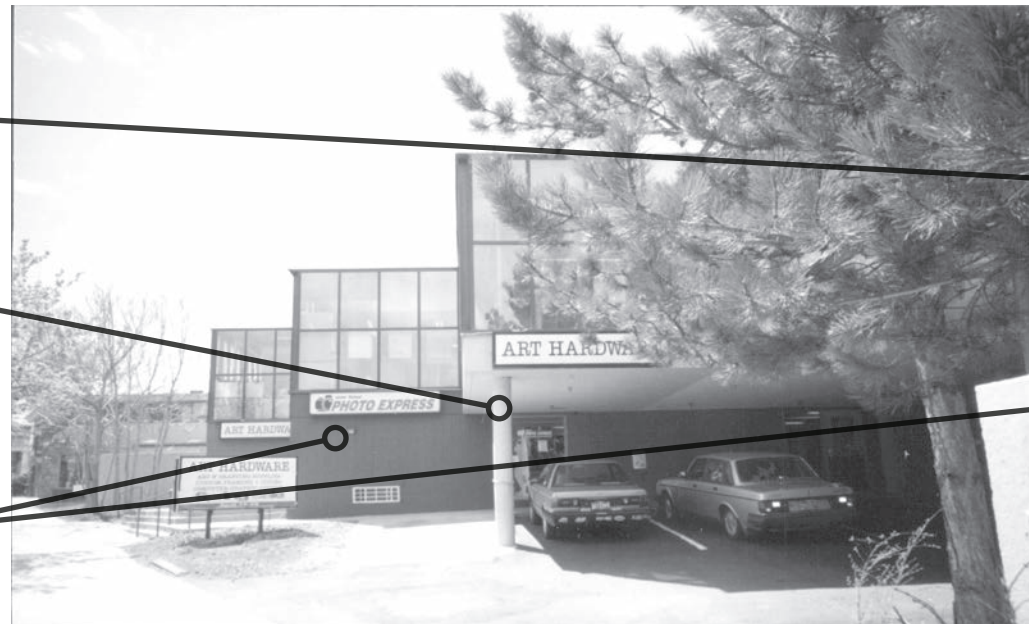
BUILDING EXTERIOR

HISTORIC PHOTOS

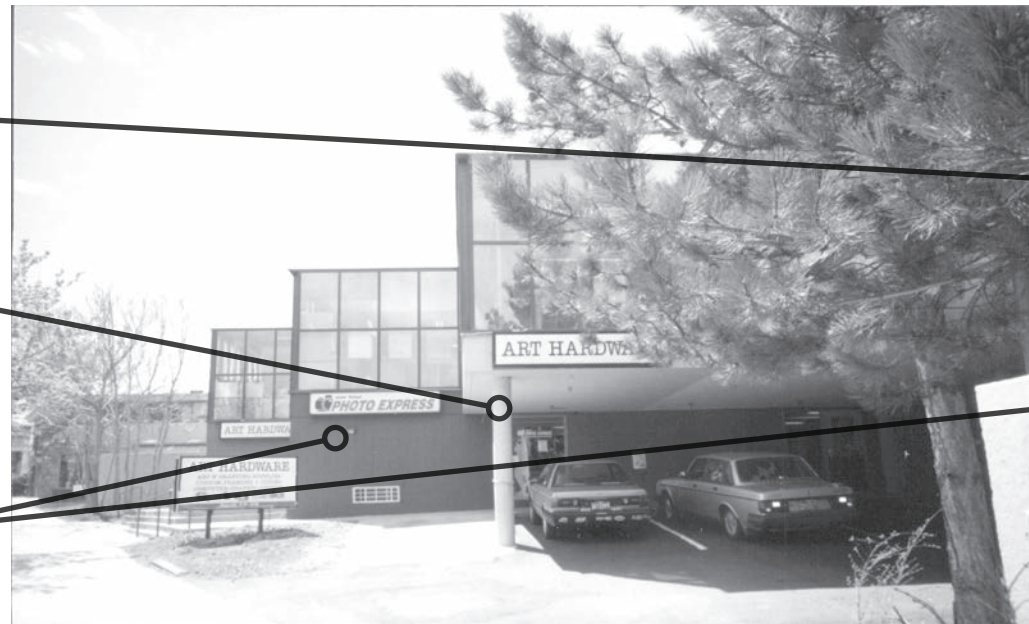
ASSUMED TO BE A WHITE CMU
WALL ON WEST FACADE



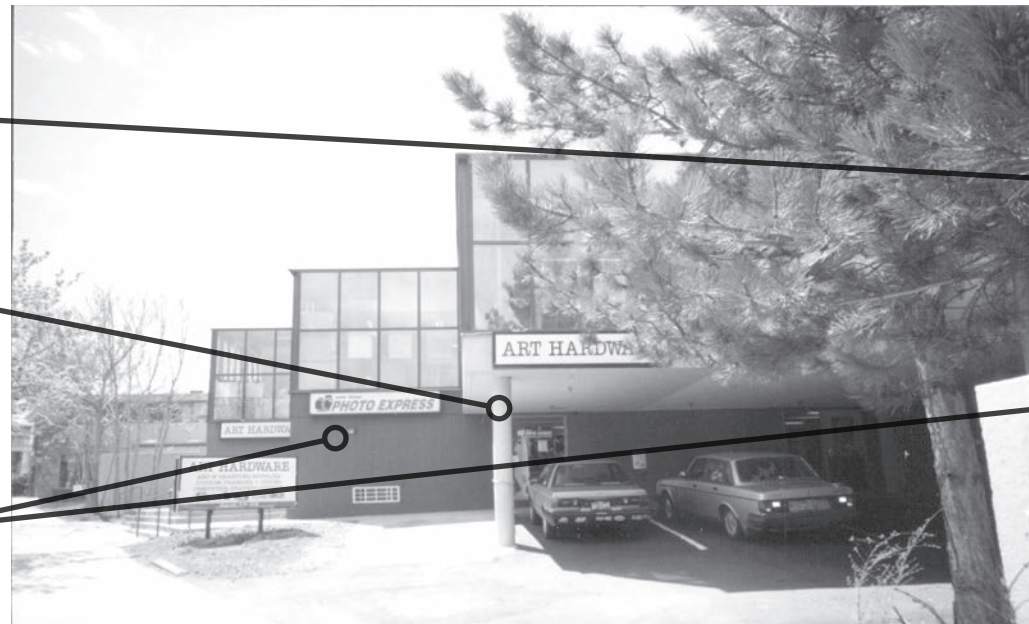
WHITE PARAPET FLASHING



PAINTED WHITE CONCRETE
COLUMNS AND WHITE CEILING



ASSUMED GRAY MASONRY WALLS
AND STUCCO PLENUM BAND WITH
SIGNAGE ON THE BAND



LIGHT COLOR ON SOUTH WALL



BUILDING EXTERIOR

COOL GRAY COLOR STUDIES

1 ALL WHITE



2 ALL DIOR GRAY WITH WHITE CEILING IN COVERED PARKING



3 ALL DIOR GRAY WITH WHITE CEILING & WHITE ENTRY WALL



4 ALL DAYS END WITH WHITE CEILING & WHITE ENTRY WALL



COLORS

MOUNTAIN PEAK WHITE

DIOR GRAY

DAYS END



BUILDING EXTERIOR

WARM GRAY COLOR STUDIES

1 SILVER FOX



2 TAOS TAUPE



3 DRIFTWOOD



4 KENDALL CHARCOAL



COLORS

SILVER FOX

TAOS TAUPE

DRIFTWOOD

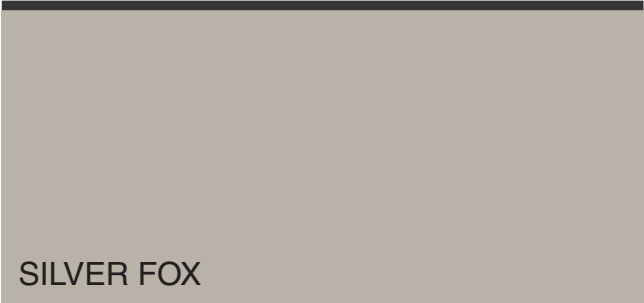
KENDALL CHARCOAL



BUILDING EXTERIOR

RECOMMENDED - SILVER FOX

MATERIALS



SILVER FOX



MOUNTAIN PEAK WHITE



EXISTING BRONZE STOREFRONT



VIEW FROM BROADWAY ^

SILVER FOX
MOUNTAIN PEAK WHITE PARKING CEILING
EXPOSED CONCRETE COLUMNS AND SITE WALLS

HISTORIC PHOTO >

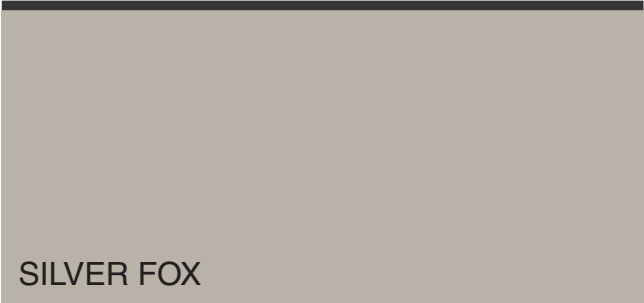




BUILDING EXTERIOR

RECOMMENDED - SILVER FOX

MATERIALS



SILVER FOX



MOUNTAIN PEAK WHITE



EXISTING BRONZE STOREFRONT



MAIN ENTRY ^

SILVER FOX
MOUNTAIN PEAK WHITE PARKING CEILING
EXPOSED CONCRETE COLUMNS AND SITE WALLS



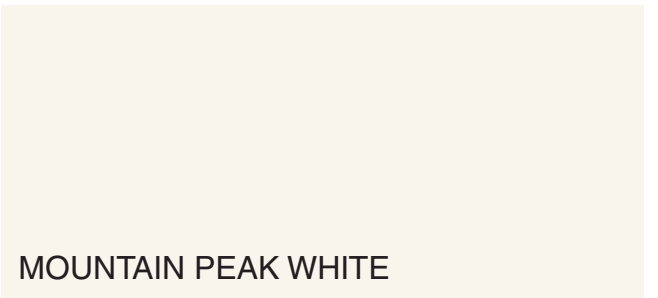
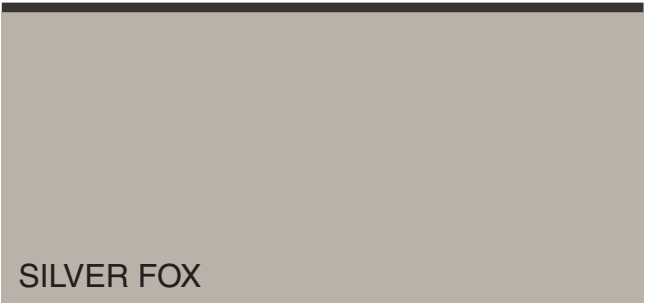
HISTORIC PHOTO >

BUILDING EXTERIOR

RECOMMENDED - SILVER FOX



MATERIALS



BACK ALLEY APPROACH ^

SILVER FOX
MOUNTAIN PEAK WHITE PARKING CEILING & WEST WALL
EXPOSED CONCRETE COLUMNS AND SITE WALLS
SOUTH WALL TO BE SILVER FOX TO MATCH NORTH WALL

HISTORIC PHOTO >



BUILDING EXTERIOR

WEST FACADE OPTIONS

1 MOUNTAINS PEAK WHITE (SHOWN W/ SILVER FOX)



2 SILVER FOX



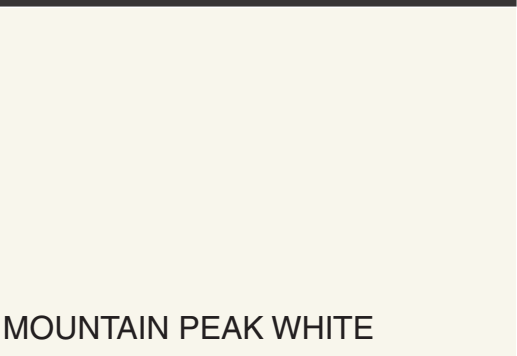
3 DIOR GRAY



4 KENDALL CHARCOAL



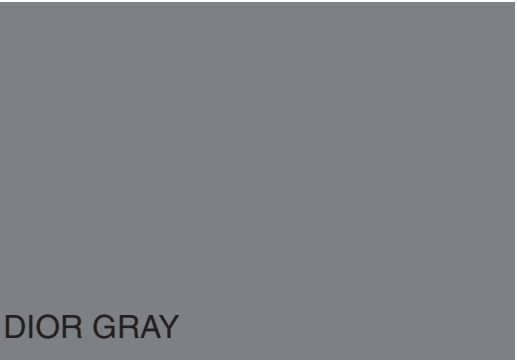
COLORS



MOUNTAIN PEAK WHITE



SILVER FOX



DIOR GRAY



KENDALL CHARCOAL



BUILDING MATERIALS

BASE SCOPE

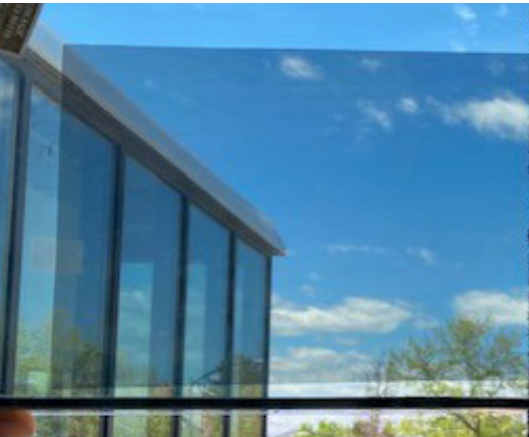
EXTERIOR

INTERIOR

NEW STOREFRONT
GLASS & FILM



EXISTING STOREFRONT
GLASS & FILM



EXISTING ROOF FLASHING



EXISTING STUCCO



DARK
BRONZE LIGHT
BRONZE

EXISTING LIGHT
BRONZE STOREFRONT
(LIMITED TO CURRENT LEVEL 2 ENTRY)



DARK
BRONZE

EXISTING DARK
BRONZE STOREFRONT
(MAJORITY OF STOREFRONT)

SILVER FOX

CMU
STUCCO PLENUM BAND

MOUNTAIN PEAK WHITE

BACK ALLEY CMU
PARKING CEILING

EXPOSED CONCRETE

COLUMNS
SITE WALLS



BUILDING MATERIALS

MATERIAL PALETTE PHOTO



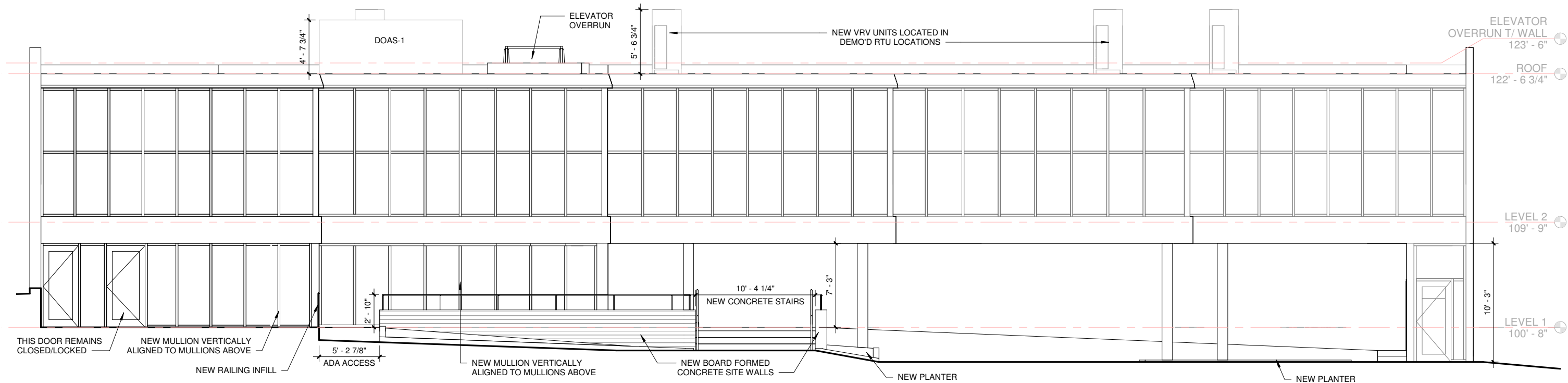


BUILDING DESIGN

ELEVATIONS



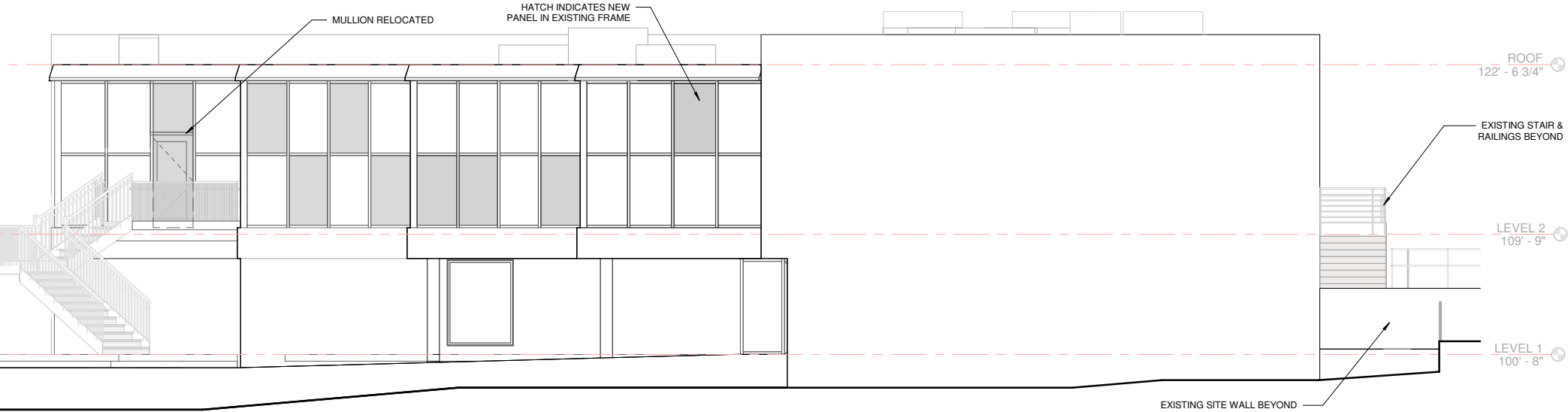
EXISTING EAST ELEVATION (BROADWAY)



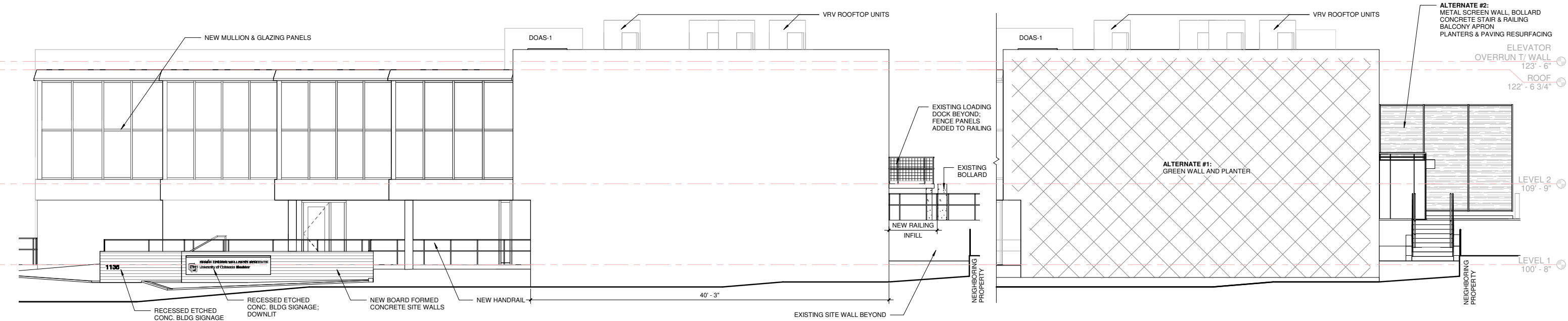
PROPOSED EAST ELEVATION (BROADWAY)



BUILDING DESIGN ELEVATIONS



EXISTING NORTH ELEVATION

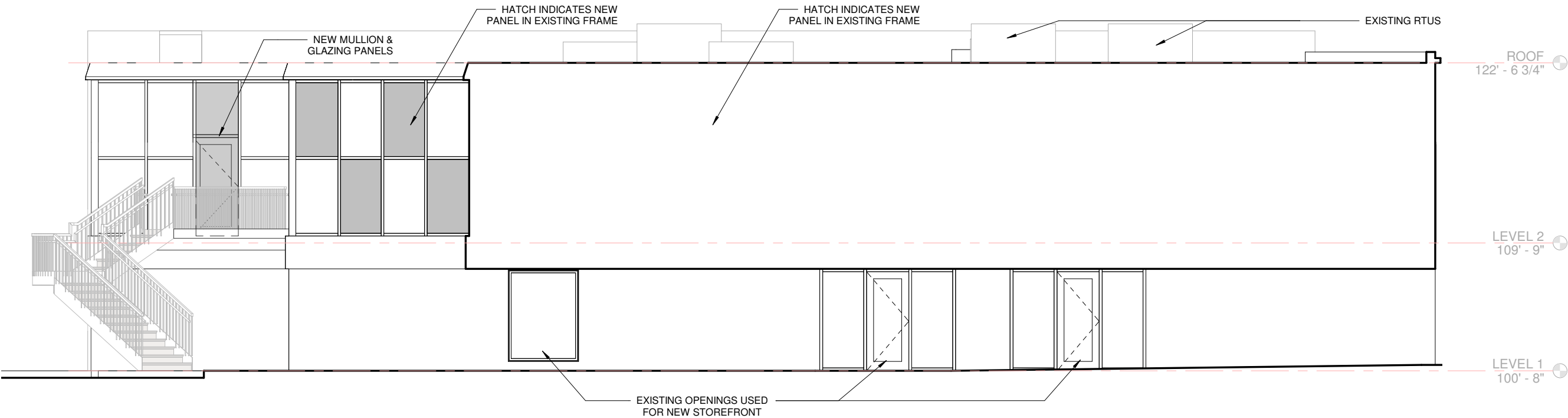


PROPOSED BASE BID NORTH ELEVATION

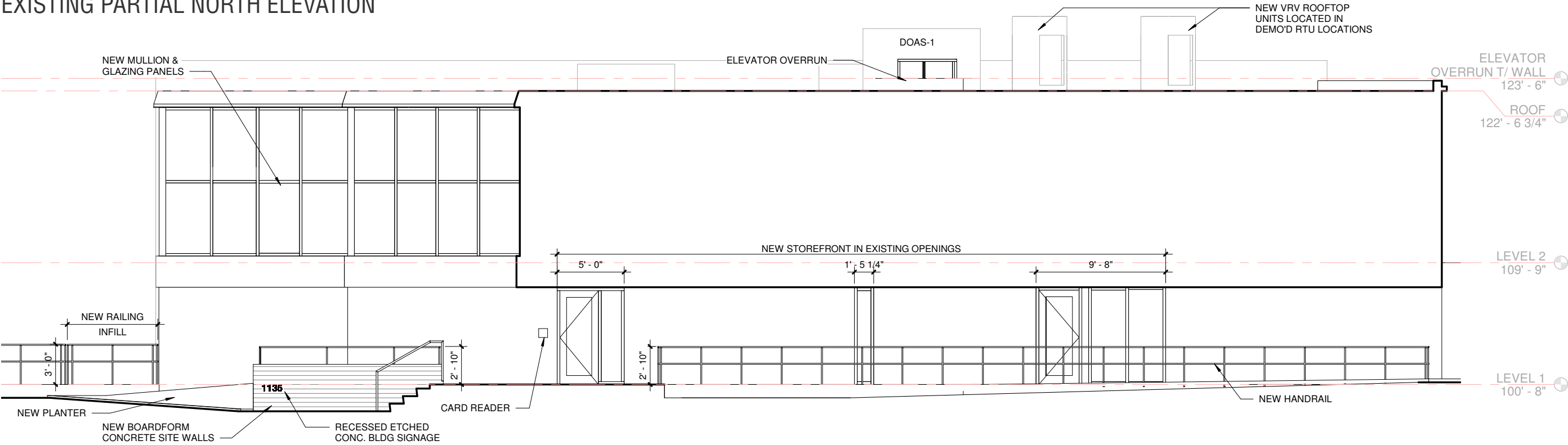
PROPOSED ALTERNATE NORTH ELEVATION



BUILDING DESIGN ELEVATIONS



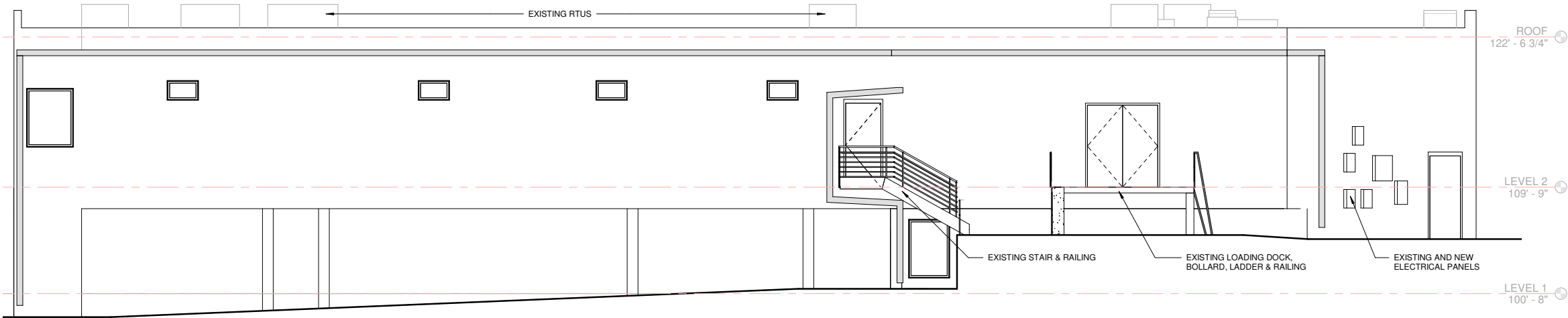
EXISTING PARTIAL NORTH ELEVATION



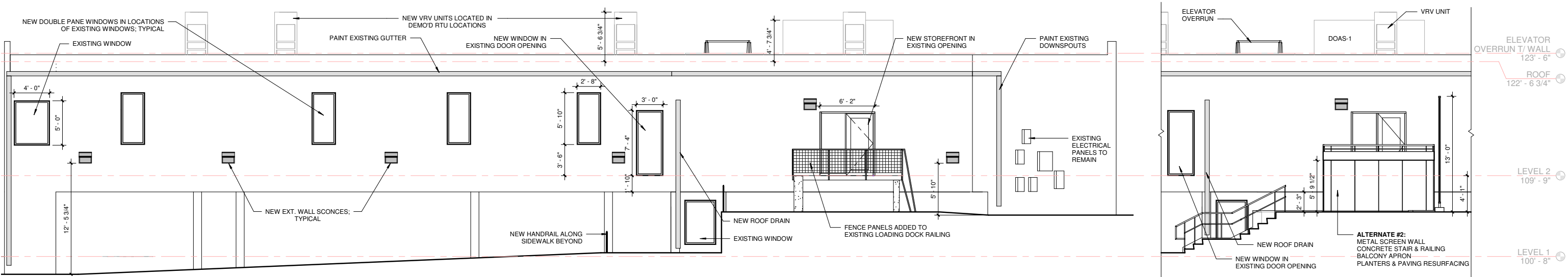
PROPOSED PARTIAL NORTH ELEVATION



BUILDING DESIGN ELEVATIONS



EXISTING WEST ELEVATION



PROPOSED BASE BID WEST ELEVATION

PROPOSED ALTERNATES WEST ELEVATION

SUSTAINABILITY

ENERGY CONSERVATION MEASURES

WINDOWS

REPLACE EAST WINDOWS WITH FAILED SEALS (APPROX 30%) WITH PPG SOLARBAN 70XL GLAZING

U=.27, SHGC=.3

ADD 3M NEUTRAL 35 FILM TO ALL WINDOWS ALONG BROADWAY

56% SOLAR ENERGY REJECTION

EXTERIOR CMU WALLS

SEAL EXTERIOR CRACKS AND ADD PERIMETER WALL FURRING WITH A THERMAL GAP AND 2" HEATLOK CI SPRAY FOAM INSULATION, R20 ASSEMBLY

AIR CHANGES PER HOUR (ACH) IMPROVEMENT OF .05

ENVELOPE INFILTRATION

SEAL EXTERIOR PENETRATIONS, ELIMINATE VOID AT PLENUM TRANSFER TO SPACE ABOVE PARKING, CAULK WINDOW SYSTEM, INSULATE PERIMETER OF ROOF WELL

AIR CHANGES PER HOUR (ACH) IMPROVEMENT OF .1

MECHANICAL SYSTEM

VARIABLE REFRIGERANT FLOW SYSTEM

TWO BANKS OF TWO CONDENSING UNITS EACH TO SERVE THE BUILDING

SINGLE, ALL-ELECTRIC DEDICATED OUTSIDE AIR SYSTEM WITH HEAT RECOVERY FOR MAKEUP AIR

ANNUAL MAINTENANCE BUDGET: APPROX \$10,000

CONDENSING UNIT LIFESPAN: APPROX 15-20 YEAR

SUSTAINABILITY

ENERGY CONSERVATION RESULTS

ENERGY USE INTENSITY

CURRENT BUILDING:	60	kBTU/sf/yr
LEED BASELINE:	48	kBTU/sf/yr
PROPOSED BUILDING:	32	kBTU/sf/yr
ASHRAE BENCHMARK STANDARD:	45	kBTU/sf/yr (FOR TYPICAL OFFICE BUILDING)
US ENERGY INFO ASSOCIATION MEDIAN:	50.9	kBTU/sf/yr (FOR EXISTING OFFICE BUILDING IN US)
CAMPUS EUI GOAL:	35	kBTU/sf/yr (FOR BUILDING OF THIS TYPE)

CARBON EMISSIONS

CURRENT BUILDING:	85	metric tons CO2/yr
LEED BASELINE:	114	metric tons CO2/yr
AFTER OFFSET BY ON-SITE PV:	53	metric tons CO2/yr
PROPOSED BUILDING:	76	metric tons CO2/yr

TOTAL ANNUAL ENERGY USAGE

LEED BASELINE:	204,250	kWh/yr
PROPOSED BUILDING:	136,179	kWh/yr
CAPACITY OF ON-SITE PV:	105,126	kWh/yr

LIGHTING POWER DENSITY

CURRENT:	1.0	watt/sf (ASSUMING T8 LIGHTING)
TARGETED:	.64	watt/sf (ASHRAE 90.1 2019 BASELINE)
MODELED:	.49	watt/sf

TOTAL ANNUAL ENERGY COST

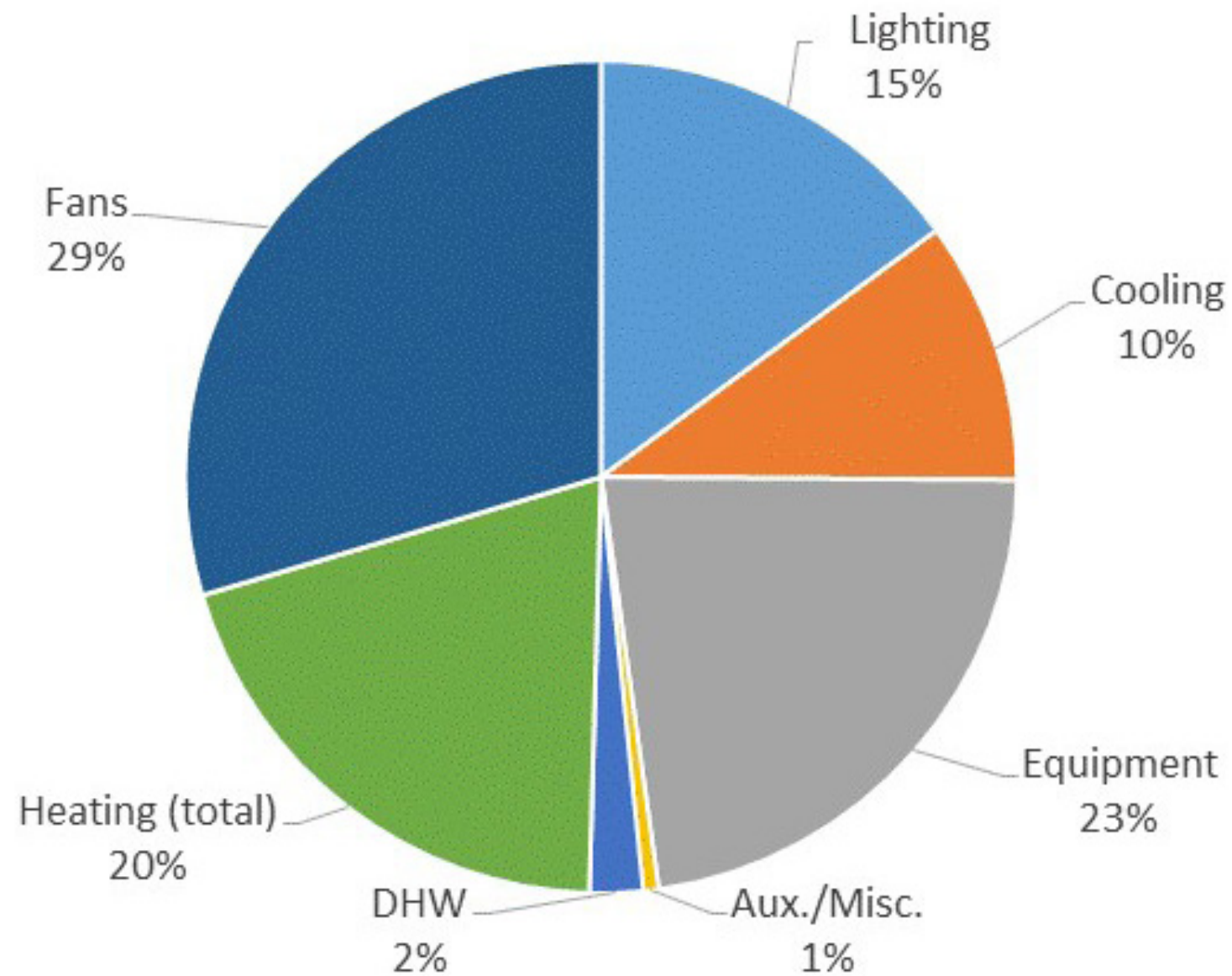
CURRENT BUILDING:	\$17,239
LEED BASELINE:	\$31,567
PROPOSED BUILDING:	\$19,549

NOTE: CURRENT BUILDING DATA IS BASED ON THE ACTUAL ENERGY CONSUMPTION OF THE BUILDING IN 2019, WHICH WAS DETERMINED TO BE OPERATIONALLY SIMILAR TO THE PROPOSED USE

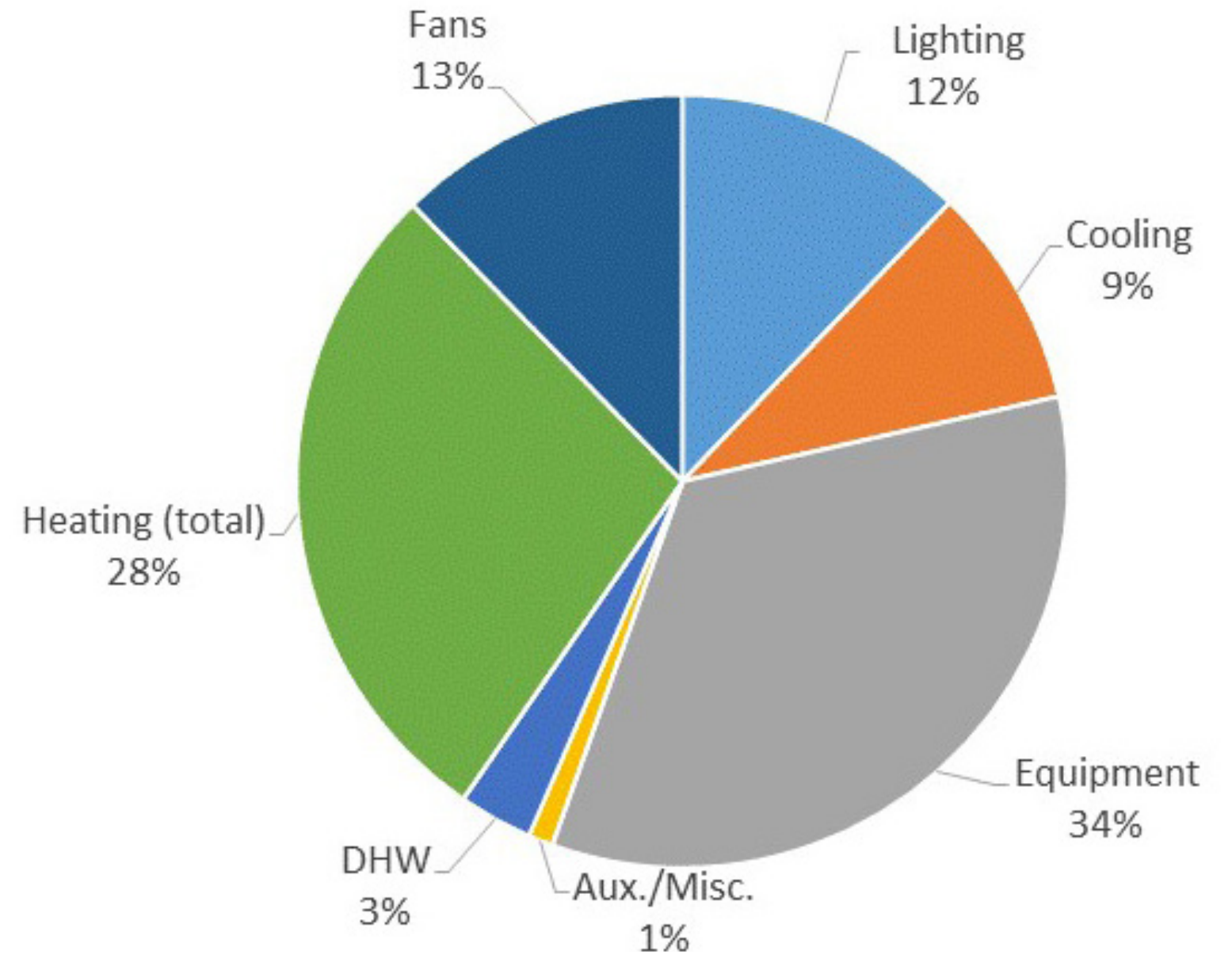
SUSTAINABILITY

ELECTRICITY USE (kWh) BY END USE
FOR THE LEED AND PROPOSED BUILDING MODELS

LEED Baseline (All Elec)



Proposed VRF (All Elec w/ DOAS w/ ERV)





SUSTAINABILITY

LEED SCORECARD

THE CURRENT **YES** POINT
TOTAL ALONG WITH 7
STRONG MAYBE POINTS,
SUBSTANTIATE THE GOAL OF
LEED CERTIFICATION.

LEED v4 for BD+C: New Construction and Major Renovation

Project Scorecard

Y	M	N	Integrative Process		1
1	0	0	Credit	Integrative Process	1

Y	M	N	Location and Transportation		16
0	0	16	Credit	LEED for Neighborhood Development Location	16
1	0	0	Credit	Sensitive Land Protection	1
0	0	2	Credit	High Priority Site	2
5	0	0	Credit	Surrounding Density and Diverse Uses	5
5	0	0	Credit	Access to Quality Transit	5
1	0	0	Credit	Bicycle Facilities	1
1	0	0	Credit	Reduced Parking Footprint	1
1	0	0	Credit	Green Vehicles	1
14	0	2			

Y	M	N	Sustainable Sites		10
Y	0	0	Prereq	Construction Activity Pollution Prevention	Required
1	0	0	Credit	Site Assessment	1
0	0	2	Credit	Site Development - Protect or Restore Habitat	2
0	0	1	Credit	Open Space	1
0	0	3	Credit	Rainwater Management	3
2	0	0	Credit	Heat Island Reduction	2
1	0	0	Credit	Light Pollution Reduction	1
4	0	6			

Y	M	N	Water Efficiency		11
Y	0	0	Prereq	Outdoor Water Use Reduction (p)	Required
Y	0	0	Prereq	Indoor Water Use Reduction (p)	Required
Y	0	0	Prereq	Building-Level Water Metering	Required
1	0	1	Credit	Outdoor Water Use Reduction (c)	2
3	3	0	Credit	Indoor Water Use Reduction (c) - TBD	6
0	0	2	Credit	Cooling Tower Water Use	2
0	1	0	Credit	Water Metering	1
4	4	3			

Y	M	N	Energy and Atmosphere		33
Y	0	0	Prereq	Fundamental Commissioning & Verification	Required
Y	0	0	Prereq	Minimum Energy Performance	Required
Y	0	0	Prereq	Building-Level Energy Metering	Required
Y	0	0	Prereq	Fundamental Refrigerant Management	Required
6	0	0	Credit	Enhanced Commissioning	6
13	2	3	Credit	Optimize Energy Performance - TBD	18
0	0	1	Credit	Advanced Energy Metering	1
0	0	2	Credit	Demand Response	2
0	3	0	Credit	Renewable Energy Production	3
0	1	0	Credit	Enhanced Refrigerant Management	1
0	2	0	Credit	Green Power and Carbon Offsets	2
19	8	6			

CU Renee Crown Wellness Renovation

6/2/2020



Y	M	N	Materials and Resources		13
Y	0	0	Prereq	Storage and Collection of Recyclables	Required
Y	0	0	Prereq	Construction & Demolition Waste Management Planning	Required
0	4	1	Credit	Building Life-Cycle Impact Reduction	5
1	1	0	Credit	Building Product Disclosure & Optimization - Environmental Product Declarations	2
1	1	0	Credit	Building Product Disclosure & Optimization - Sourcing of Raw Materials	2
1	1	0	Credit	Building Product Disclosure & Optimization - Material Ingredients	2
2	0	0	Credit	Construction & Demolition Waste Management	2
5	7	1			

Y	M	N	Indoor Environmental Quality		16
Y	0	0	Prereq	Minimum Indoor Air Quality Performance	Required
Y	0	0	Prereq	Environmental Tobacco Smoke Control	Required
2	0	0	Credit	Enhanced Indoor Air Quality Strategies	2
3	0	0	Credit	Low Emitting Materials	3
1	0	0	Credit	Construction Indoor Air Quality Management Plan	1
1	1	0	Credit	Indoor Air Quality Assessment	2
0	1	0	Credit	Thermal Comfort	1
1	1	0	Credit	Interior Lighting	2
0	0	3	Credit	Daylight	3
1	0	0	Credit	Quality Views	1
0	0	1	Credit	Acoustic Performance	1
9	3	4			

Y	M	N	Innovation		6
1	0	0	Credit	Innovation in Design, Lamp Purchasing	1
1	0	0	Credit	Exemplary Performance, Reduced Parking	1
1	0	0	Credit	Exemplary Performance, Low Emitting Materials	1
1	0	0	Credit	Innovation in Design, LEED O+M Starter kit	1
1	0	0	Credit	Innovation in Design, Pilot	1
1	0	0	Credit	LEED Accredited Professional	1
6	0	0			

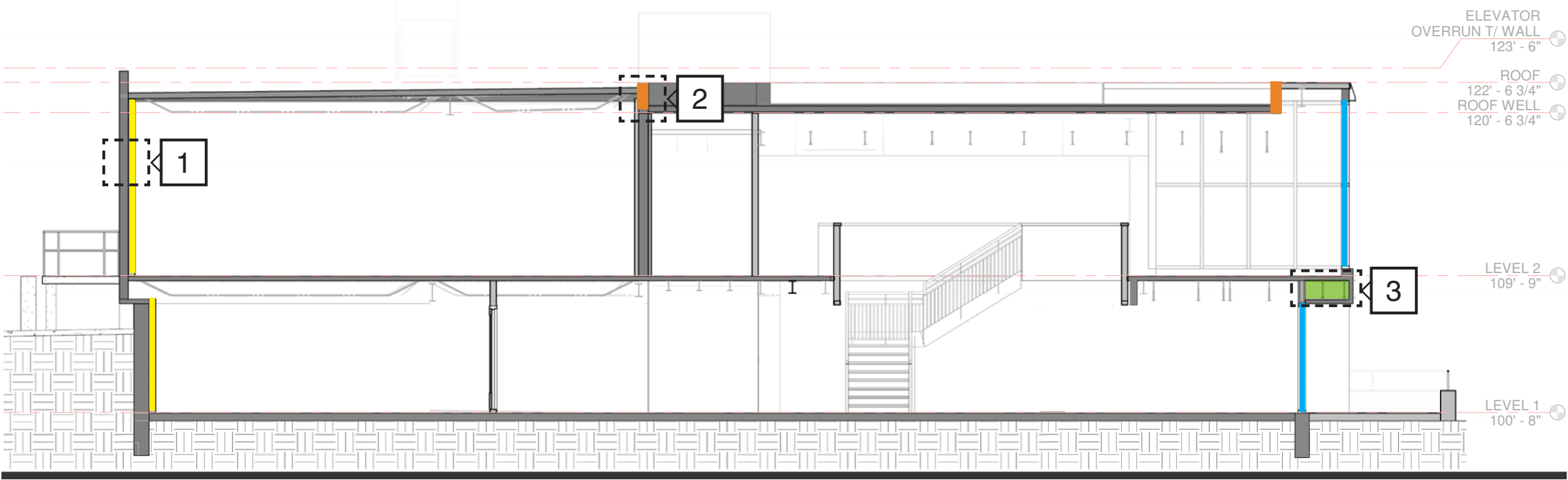
Y	M	N	Regional Priority		4
0	1	0	Credit	Regional Priority Credit 1, Renewable Energy [3]	1
1	0	0	Credit	Regional Priority Credit 2, Energy Performance [10]	1
1	0	0	Credit	Regional Priority Credit 3, Density & Diverse Uses [2]	1
0	1	0	Credit	Regional Priority Credit 4, Indoor Water Use [4]	1
2	2	0			

64	24	22	TOTALS		Possible Points:	110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110						



SUSTAINABILITY

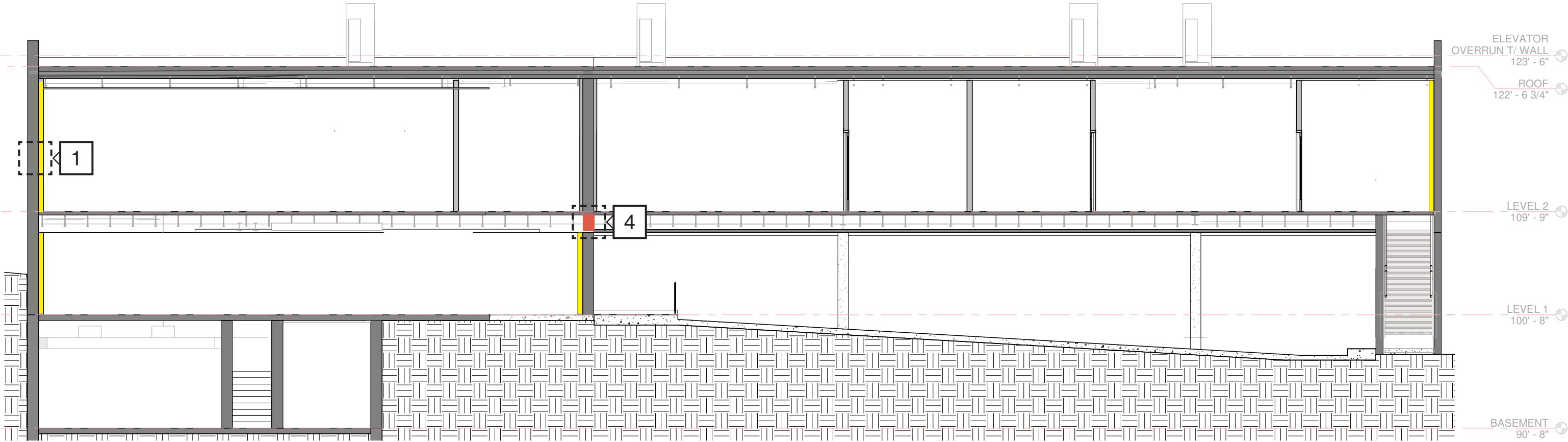
ENVELOPE IMPROVEMENTS



ENVELOPE IMPROVEMENTS KEY		DETAIL
---------------------------	--	--------

- | | |
|---|---|
| SEAL, INSULATE & FUR CMU WALLS | 1 |
| INSULATE CANTILEVER | 3 |
| REPLACE BATT INSULATION | 2 |
| SEAL & WEATHERPROOF EXTERIOR PENETRATIONS | 4 |
| CAULK GAPS IN STOREFRONT & ADD FILM | |

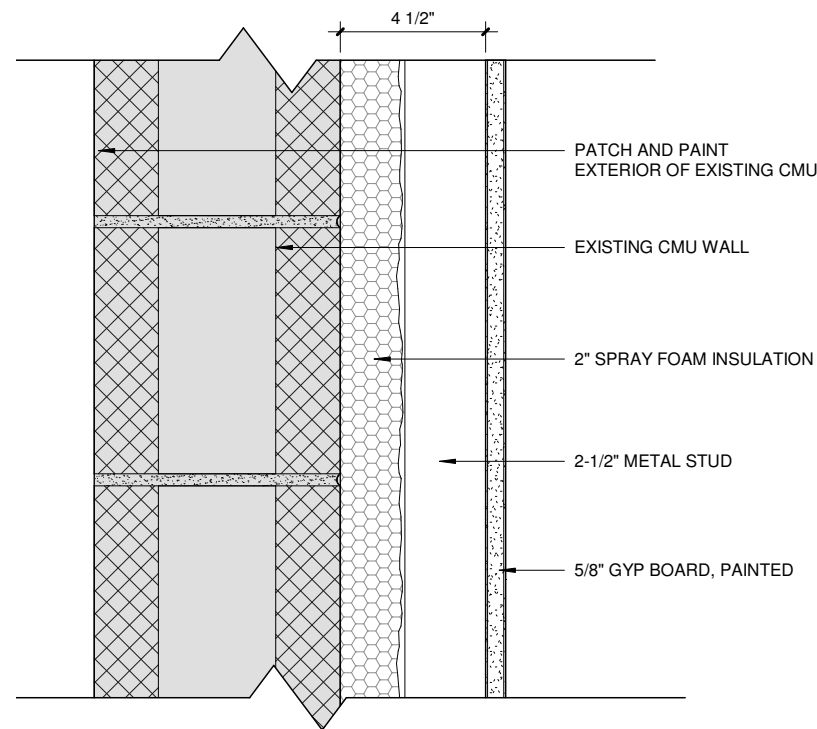
EAST - WEST BUILDING SECTION



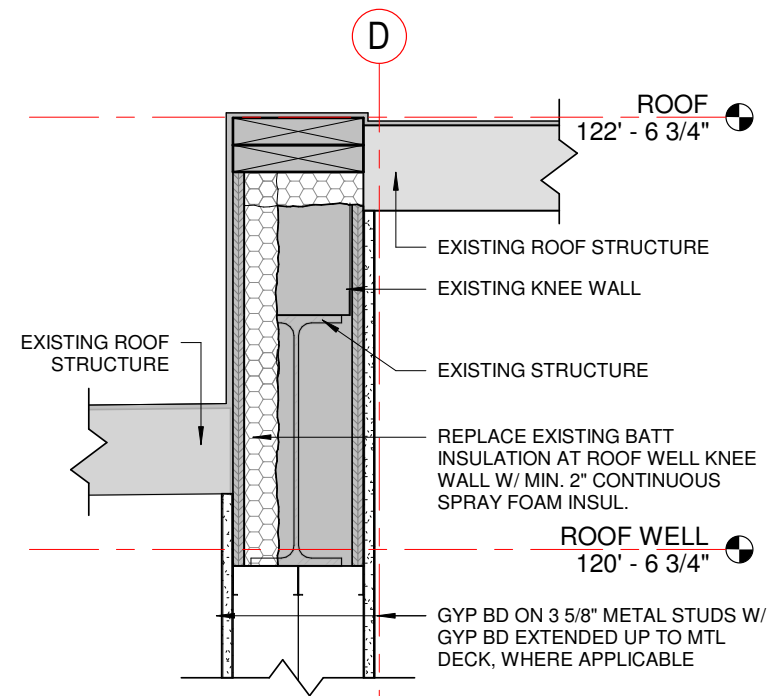
NORTH - SOUTH BUILDING SECTION

SUSTAINABILITY

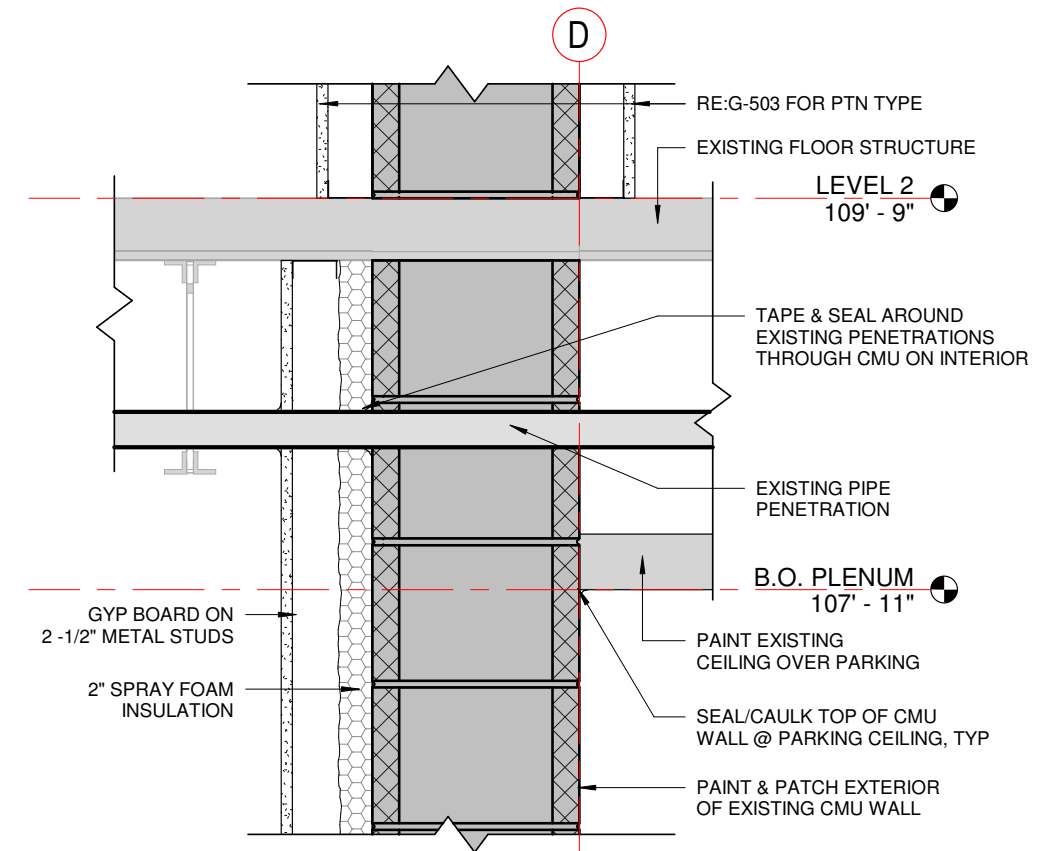
ENVELOPE IMPROVEMENT DETAILS



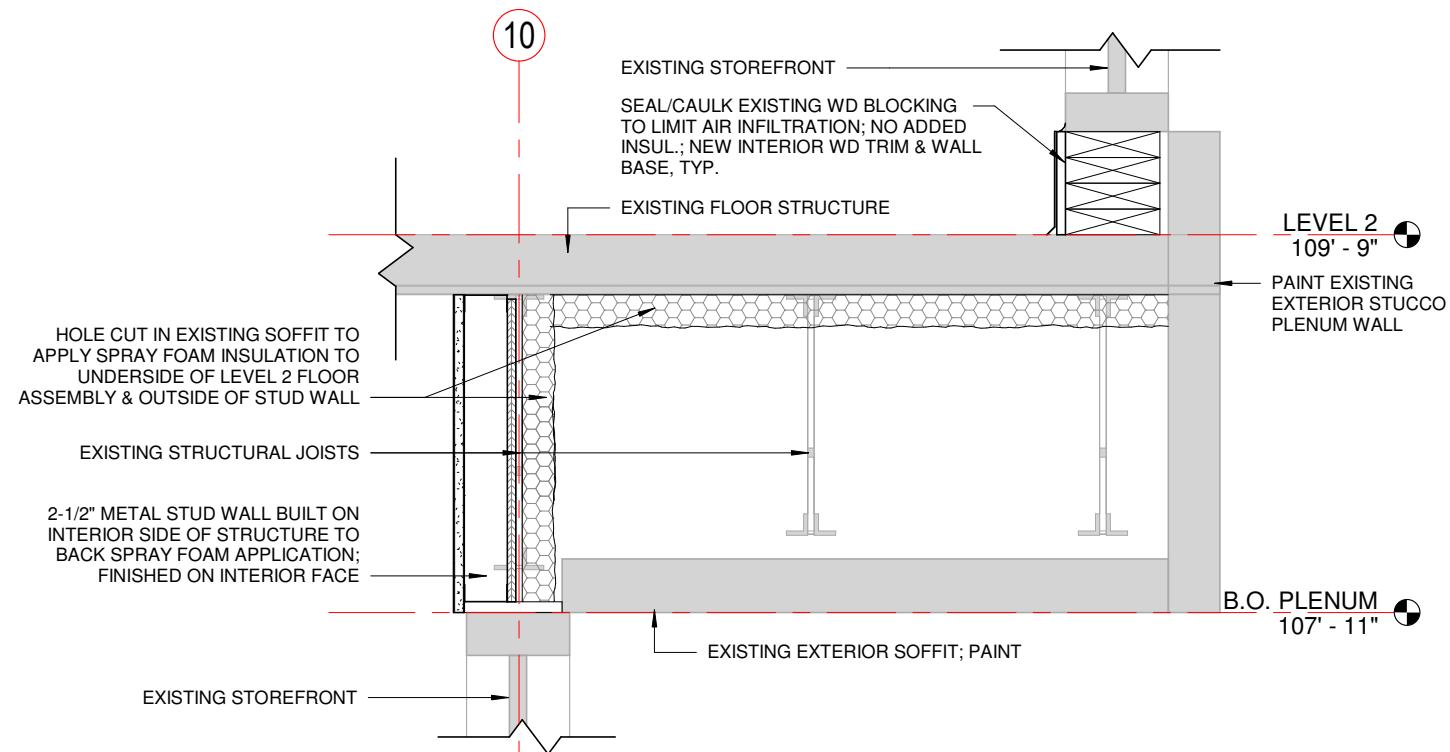
1 FURRING AT EXISTING CMU WALLS



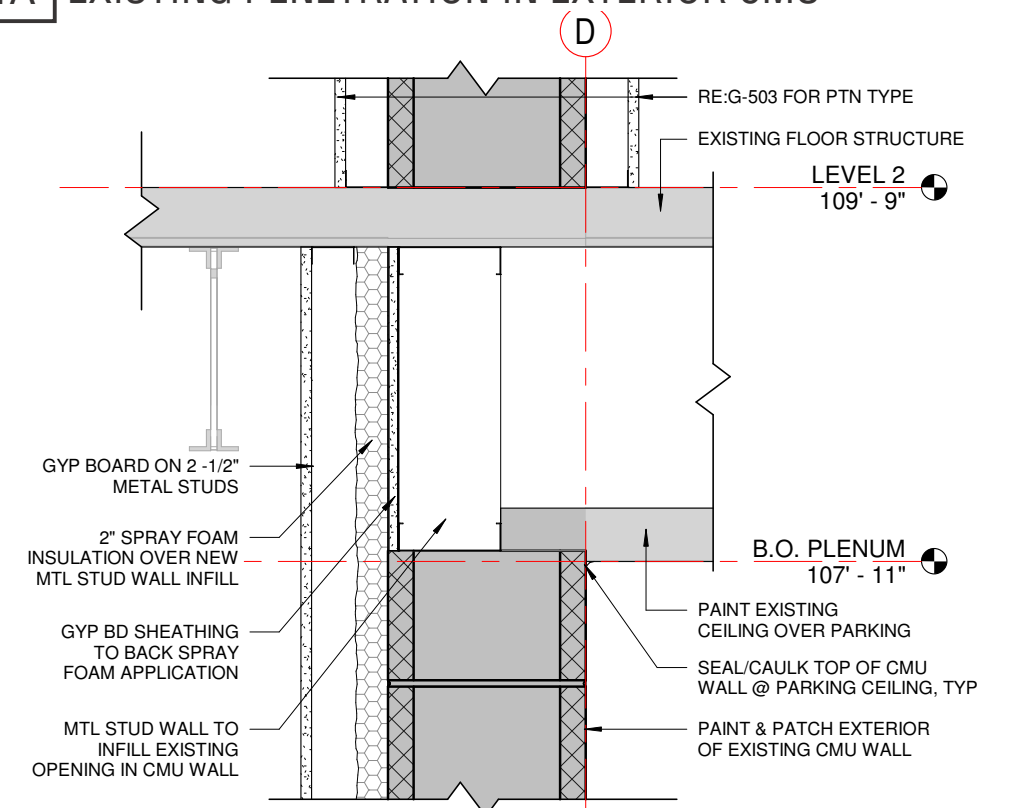
2 ROOF WELL KNEE WALL



4A EXISTING PENETRATION IN EXTERIOR CMU



3 EXISTING EXTERIOR SOFFIT

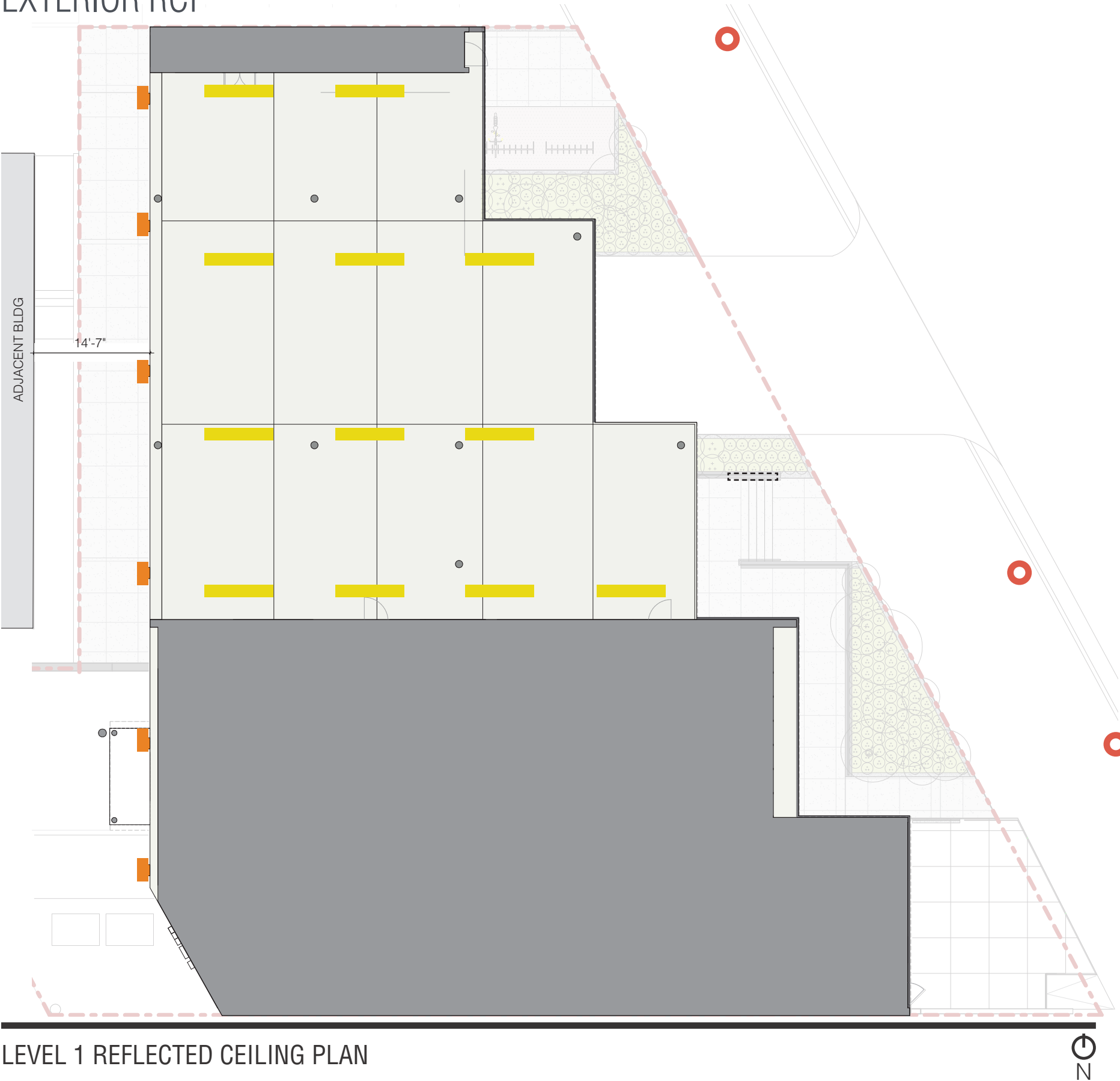


4B EXISTING GAP IN EXTERIOR CMU



SITE LIGHTING

EXTERIOR RCP



GOALS

LIGHTING LAYOUT ADJUSTED TO CREATE A MORE EVEN LIGHT DISTRIBUTION AND LOWER FOOTCANDLES OVERALL.

OCCUPANCY SENSORS AND DIMMING INCORPORATED INTO FIXTURES TO SAVE ENERGY.

ILLUMINATION LEVELS:
PARKING: 3-14 FC AVERAGE
ALLEY: 1.6 FC AVERAGE

EXTERIOR LIGHT FIXTURES

LED EXTERIOR SCONCE



RECESSED LINEAR LED



LED EXTERIOR COVE LIGHT
(EMBEDDED IN BUILDING NAME SIGNAGE WALL)

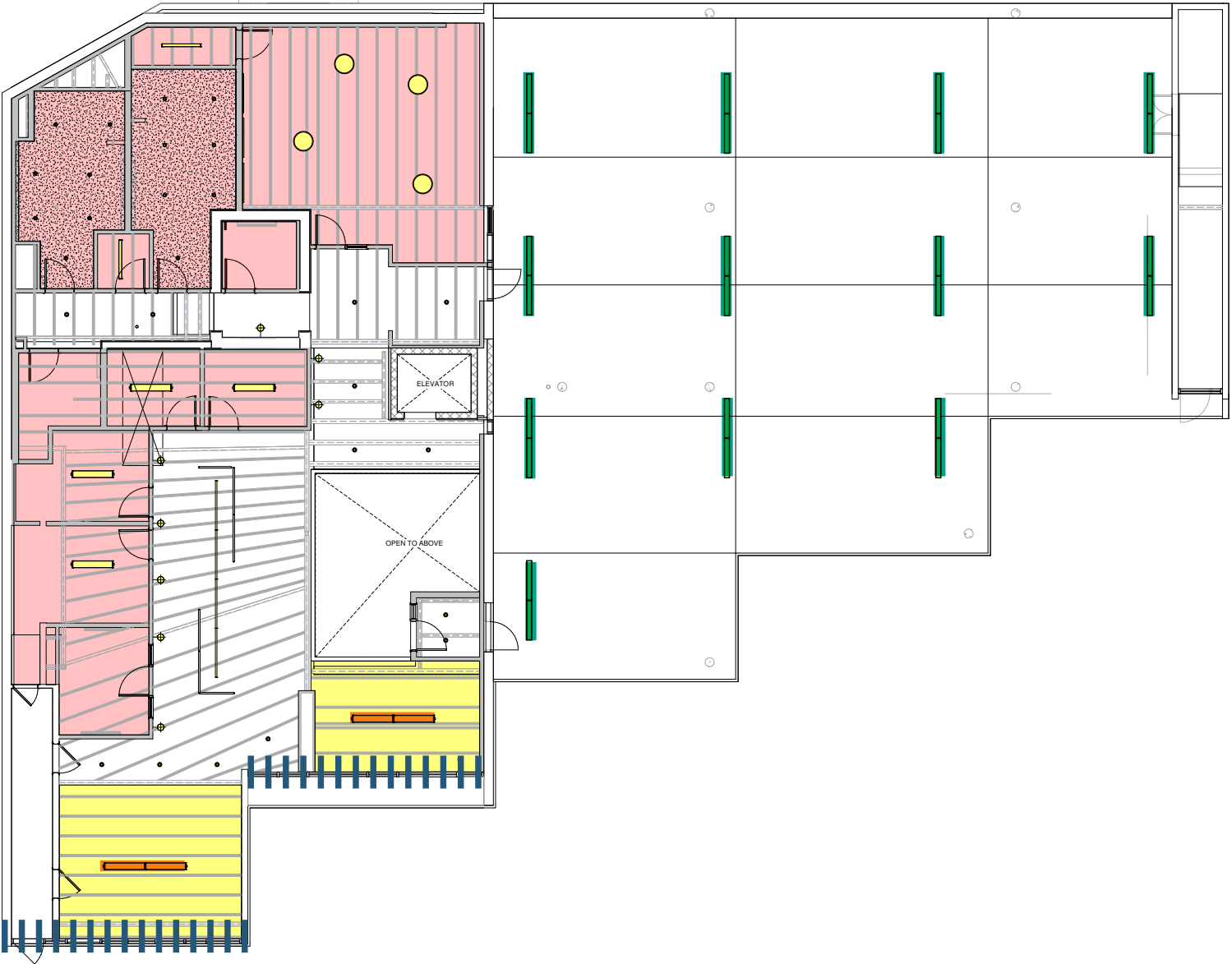


EXISTING STREET LIGHTS



SUSTAINABILITY

LIGHTING STRATEGY



LEVEL 1 REFLECTED CEILING PLAN



LEVEL 2 REFLECTED CEILING PLAN



LIGHTING POWER DENSITY:

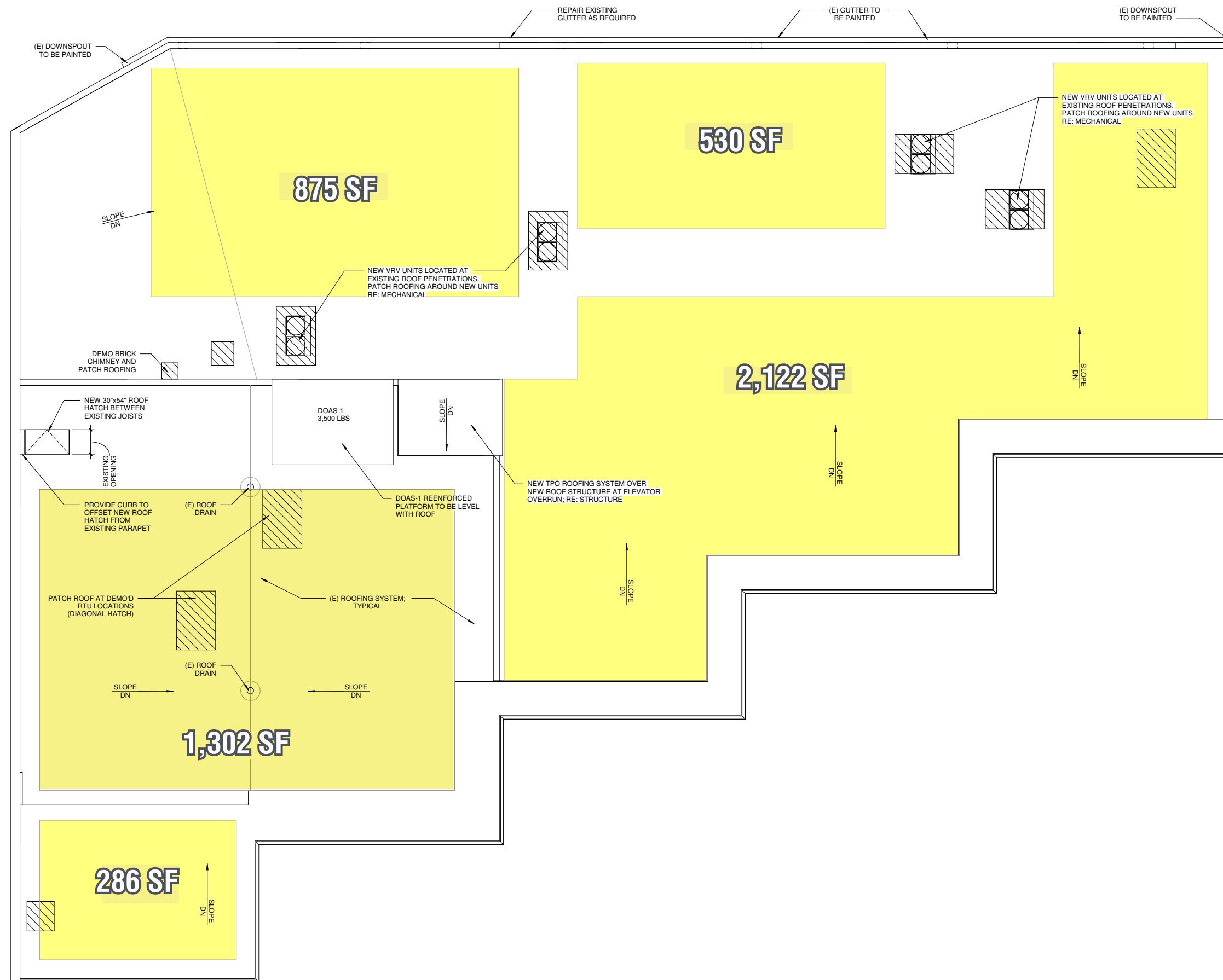
CURRENT: 1.0 W/SF (ASSUMING MOSTLY T8 LIGHTING)
TARGET: .64 W/SF (ASHRAE 90.1 2019 BASELINE IS 0.64W/SF)
ACTUAL: .49 W/SF (BASED ON TOTAL INTERIOR LIGHTING WATTAGE OF 6034 AS DESIGNED)

LIGHTING STRATEGY KEY

- DAYLIGHT HARVESTING ZONE
- DAYLIGHT SENSOR DIMMED FIXTURES
- ENCLOSED ROOMS / OCCUPANCY ZONE
- OCCUPANCY DIMMED SENSOR
- OCCUPANCY SENSOR CONTROLLED FIXTURES
- DAYLIGHT + OCCUPANCY SENSOR CONTROLLED
- FILM APPLIED TO EXISTING WINDOWS

PV POTENTIAL

- **5,115 SF** POTENTIAL PV AREA
- APPROX. **105,126 KWH/YR**
- **77%** OF BUILDING LOAD



ROOF PLAN





APPENDIX



BUILDING EXTERIOR

DARKER OPTION - KENDALL CHARCOAL

MATERIALS

KENDALL CHARCOAL

MOUNTAIN PEAK WHITE

EXISTING BRONZE STOREFRONT



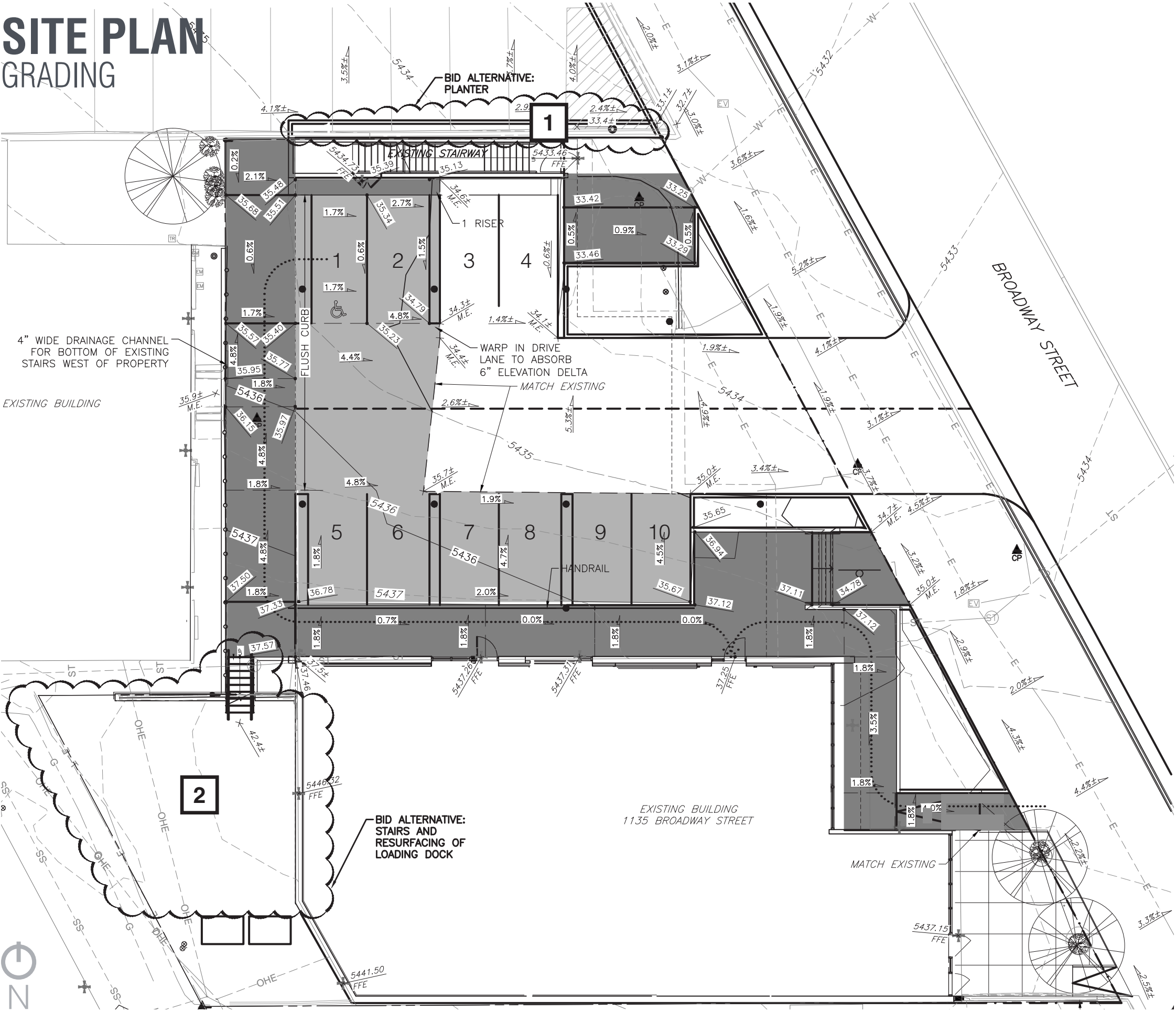
VIEW FROM BROADWAY ^
KENDALL CHARCOAL
MOUNTAIN PEAK WHITE PARKING CEILING
EXPOSED CONCRETE COLUMNS AND SITE WALLS

HISTORIC PHOTO >





SITE PLAN GRADING



LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
---	CONTOURS	---
---	STORM SEWER	---
---	STORM MANHOLE	---
---	ROOF DRAIN	---
---	INLET	---
---	FLARED END SECTION	---
---	SIGN	---
---	GRADING ARROW	---
---	DECIDUOUS TREE	---
---	EVERGREEN TREE	---
---	BUSH/SHRUB	---
---	DRIVE	---
---	SPOT ELEVATIONS	---
---	CONCRETE	---
---	ASPHALT	---

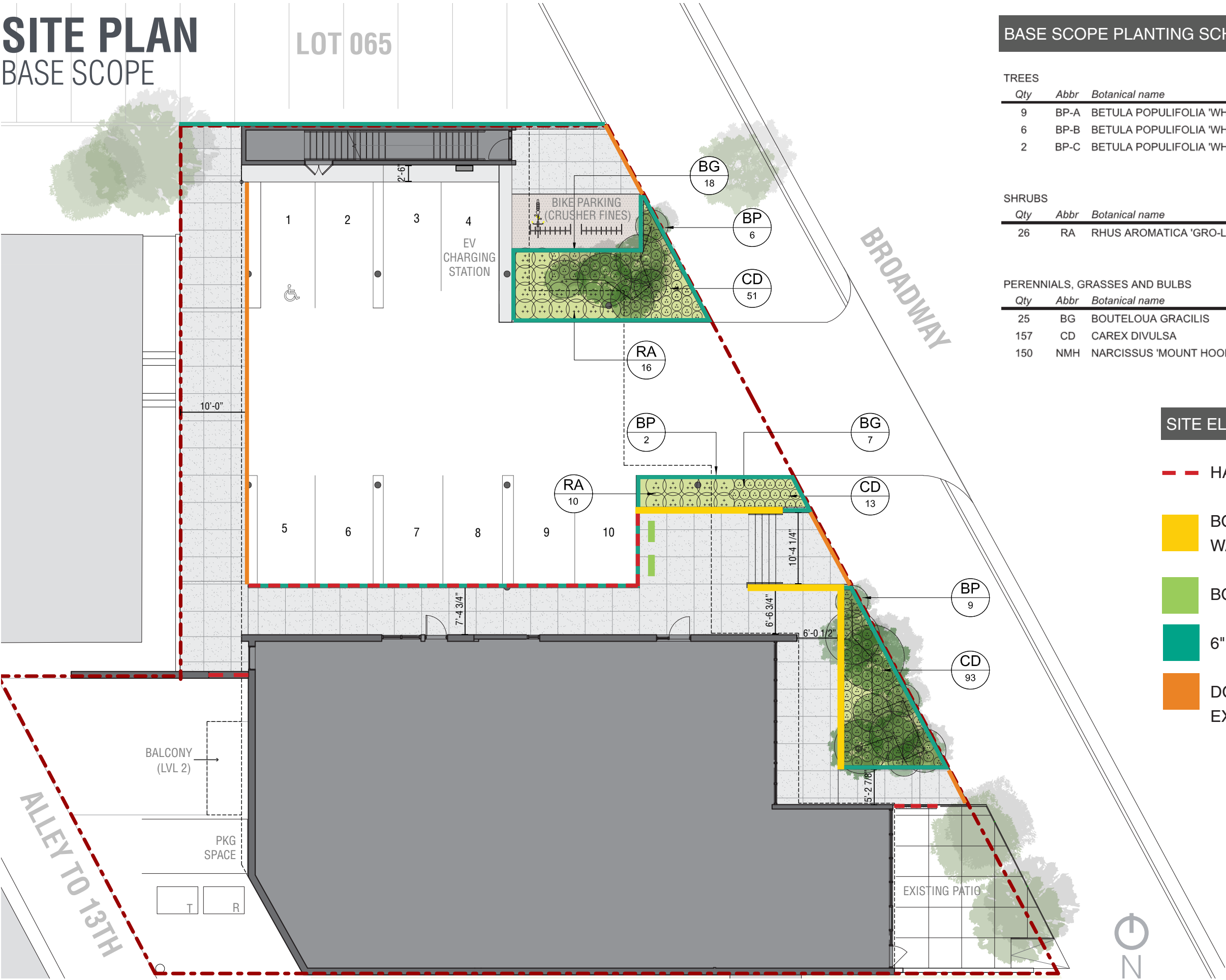
ADD ALTERNATES

- 1 NORTH GREEN WALL
- 2 ALLEY PLAZA



SITE PLAN
BASE SCOPE

LOT 065



BASE SCOPE PLANTING SCHEDULE

TREES				
Qty	Abbr	Botanical name	Common name	Size
9	BP-A	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	10' - 12' Ht
6	BP-B	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	12' - 15' Ht
2	BP-C	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	15' - 20' Ht
SHRUBS				
Qty	Abbr	Botanical name	Common name	Size
26	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15" - 18" Ht
PERENNIALS, GRASSES AND BULBS				
Qty	Abbr	Botanical name	Common name	Size
25	BG	BOUTELOUA GRACILIS	BLUE GRAMA	1 gal
157	CD	CAREX DIVULSA	GRASSLAND SEDGE	1 gal
150	NMH	NARCISSUS 'MOUNT HOOD'	MOUNT HOOD NARCISSUS	8/+ cm

SITE ELEMENTS KEY

SITE ELEMENTS KEY		DETAILS
	HANDRAIL (34"- 42" VARIES)	1
	BOARD FORM CONCRETE WALL WITH RAILING	2
	BOARD FORM CONCRETE BENCH	3
	6" CONCRETE CURB	4
	DOWELED JOINT WITH EXISTING PAVING (FLUSH)	5

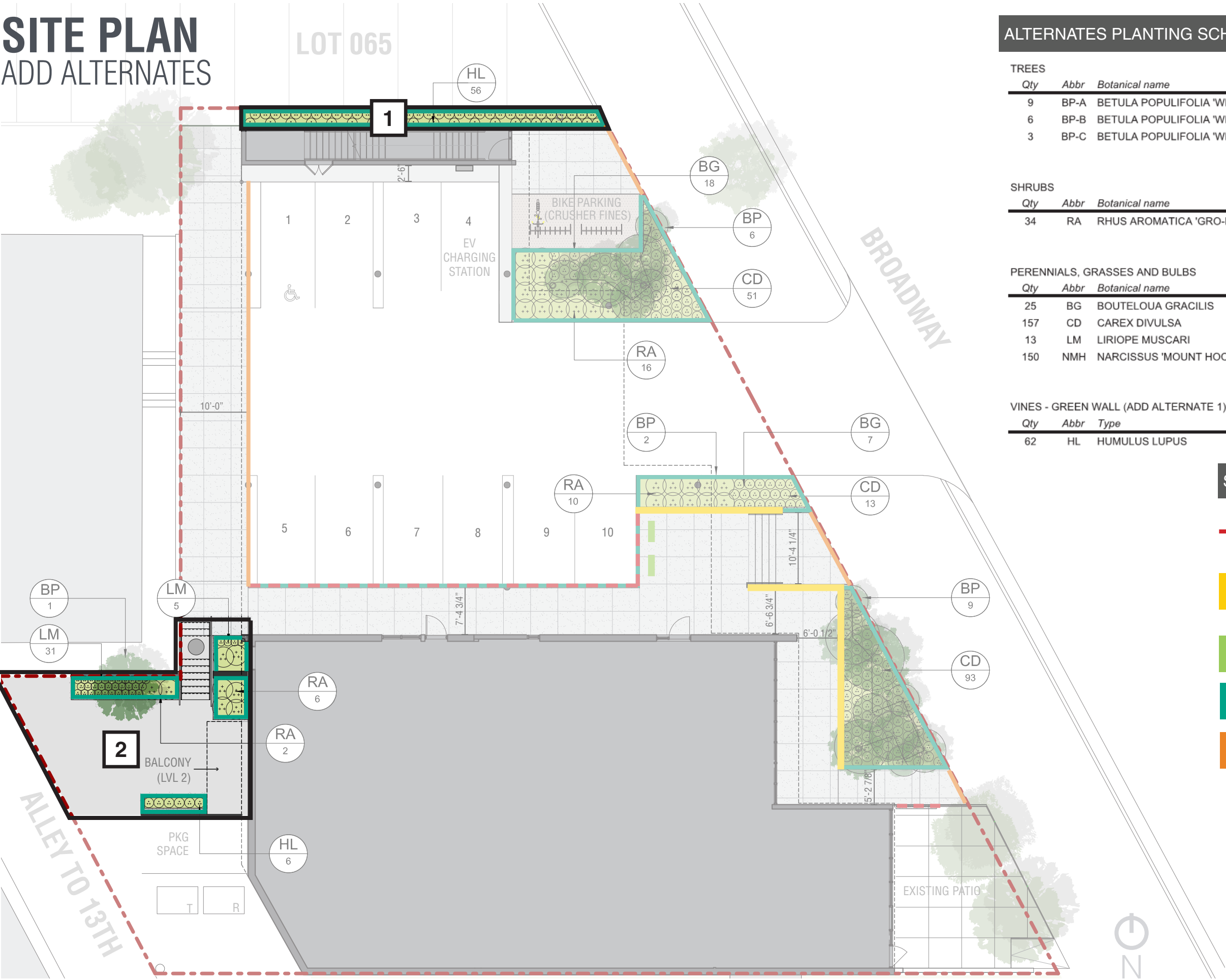
1 RAILING INFILL DETAILS





SITE PLAN
ADD ALTERNATES

LOT 065



ALTERNATES PLANTING SCHEDULE

TREES				
Qty	Abbr	Botanical name	Common name	Size
9	BP-A	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	10' - 12' Ht
6	BP-B	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	12' - 15' Ht
3	BP-C	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GREY BIRCH	15' - 20' Ht

SHRUBS				
Qty	Abbr	Botanical name	Common name	Size
34	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15"- 18" Ht

PERENNIALS, GRASSES AND BULBS				
Qty	Abbr	Botanical name	Common name	Size
25	BG	BOUTELLOUA GRACILIS	BLUE GRAMA	1 gal
157	CD	CAREX DIVULSA	GRASSLAND SEDGE	1 gal
13	LM	LIRIOPE MUSCARI	LILYTURF	2 1/4" pot
150	NMH	NARCISSUS 'MOUNT HOOD'	MOUNT HOOD NARCISSUS	8/+ cm

VINES - GREEN WALL (ADD ALTERNATE 1)				
Qty	Abbr	Type	Common name	Size
62	HL	HUMULUS LUPUS	COMMON HOP	2 1/4" pot

SITE ELEMENTS KEY

- HANDRAIL (34"- 42" VARIES)
- BOARD FORM CONCRETE WALL WITH RAILING
- BOARD FORM CONCRETE BENCH
- 6" CONCRETE CURB
- FLUSH CURB

ADD ALTERNATES

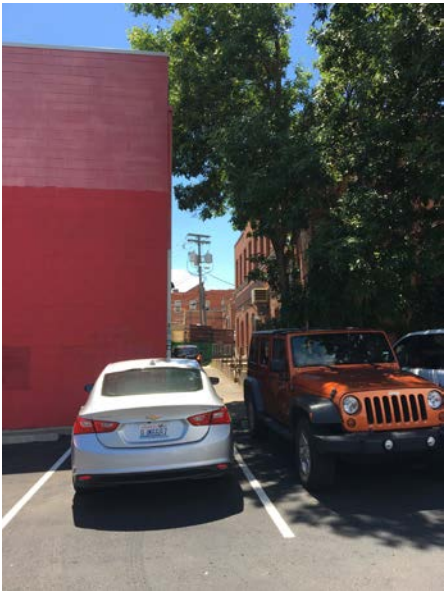
- 1 NORTH GREEN WALL
- 2 ALLEY PLAZA

ALTERNATE 1

NORTH GREEN WALL

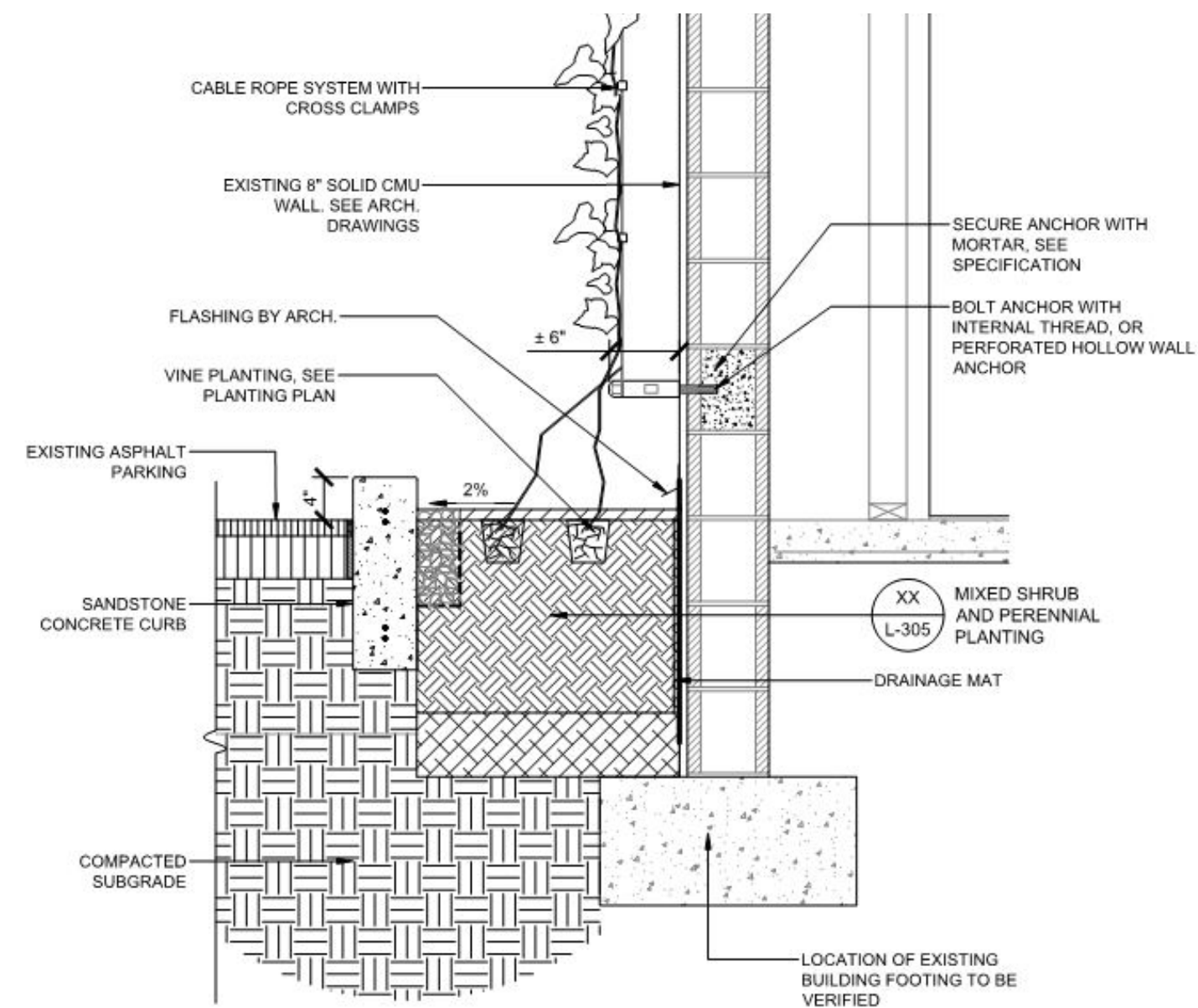


EXISTING PHOTOS



This technical drawing shows an "ALTERNATE 1 ENLARGED PLAN" of a curb and gutter assembly. The drawing includes several callouts and dimensions:

- Callout 1:** An orange square with the number "1" pointing to the top surface of the curb.
- Callout 2:** A green square with the number "2" pointing to the vertical face of the curb.
- Dimensions:**
 - A vertical dimension of "6' - 6\"/>
- Other Features:**
 - A circular symbol containing the letter "H" is located on the right side of the drawing.
 - A diagonal hatching pattern is shown at the bottom right corner.



2 CABLE TRELLIS SECTION

ALTERNATE 2

ALLEY PLAZA



BASE SCOPE



ALTERNATE 2

EXISTING PHOTOS



Architectural elevation drawing of a building facade, showing a balcony and planter area. The drawing includes dimensions and callouts for various components.

Dimensions:

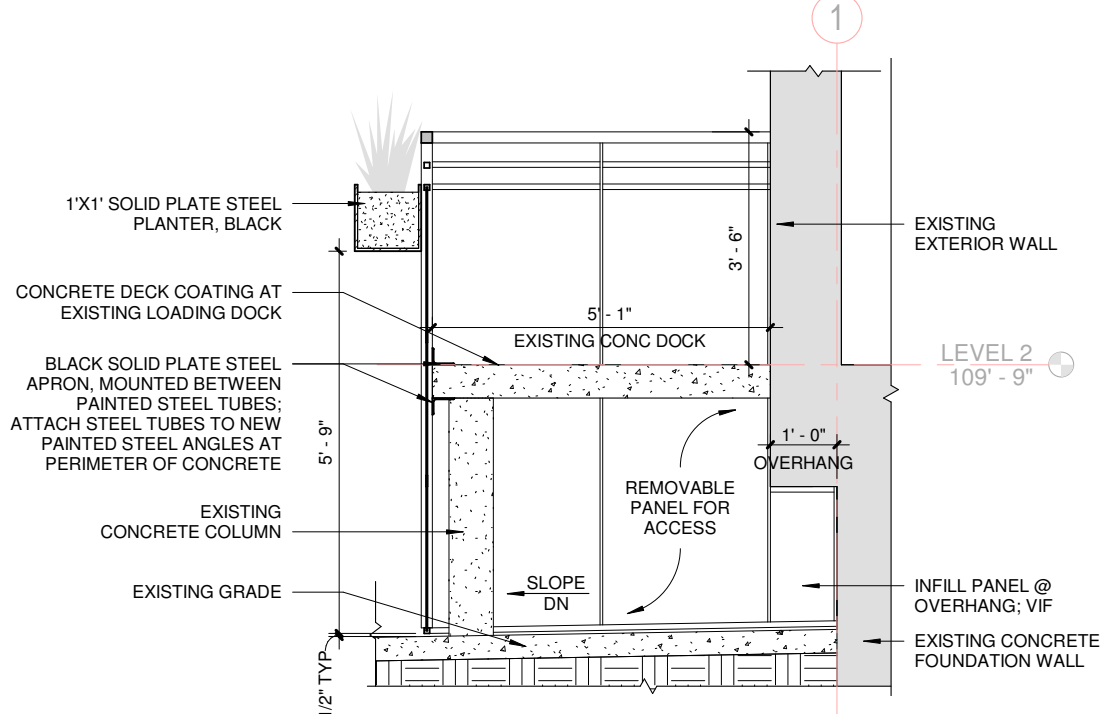
- Overall width: 122' - 6 3/4"
- Overall height: 109' - 9"
- Section cut: 7' - 7"
- Section cut: 5' - 9"
- Section cut: 1' - 0"
- Section cut: 9 3/8"
- Section cut: 2' - 7 1/2"
- Section cut: 12' - 0"
- Section cut: 6"
- Section cut: 6"
- Section cut: 1/2" TYP

Callouts:

- ROOF
- EXISTING GUTTER
- LED EXTERIOR SCONCE; RE: ELECTRICAL
- METAL SCREEN FEATURE WALL; RE: LANDSCAPE
- PLATE STL. PLANTER AROUND BALCONY PERIMETER
- EXISTING CONCRETE LOADING DOCK & COLUMNS
- LEVEL 2
- 14 GA STEEL PLATE APRON DOWN TO PAVEMENT

Notes:

- TYP. PANEL

[illegible]

Architectural section drawing showing a building elevation with a new concrete deck and steel structure. The drawing includes the following labels and dimensions:

- 1'X1' SOLID PLATE STEEL PLANTER, BLACK**: Located at the top left, with a height dimension of **3' - 6"**.
- CONCRETE DECK COATING AT EXISTING LOADING DOCK**: Indicated by a line pointing to the top surface of the new deck.
- BLACK SOLID PLATE STEEL APRON, MOUNTED BETWEEN PAINTED STEEL TUBES; ATTACH STEEL TUBES TO NEW PAINTED STEEL ANGLES AT PERIMETER OF CONCRETE**: Describes the new steel structure, with a height dimension of **5' - 9"**.
- EXISTING CONCRETE COLUMN**: Located on the left side of the section.
- EXISTING GRADE**: Indicated by a line pointing to the ground level.
- EXISTING CONC DOCK**: Located in the center, with a width dimension of **5' - 1"**.
- REMOVABLE PANEL FOR ACCESS**: Indicated by a curved arrow pointing to a panel in the new structure.
- SLOPE DN**: Indicated by a curved arrow pointing downwards.
- 1' - 0" OVERHANG**: Dimensioned on the right side of the new structure.
- INFILL PANEL @ OVERHANG; VIF**: Located at the bottom right of the new structure.
- EXISTING EXTERIOR WALL**: Located on the right side of the section.
- EXISTING FOUNDATION WALL**: Located at the bottom right of the section.
- LEVEL 2**: Marked with a red line and a circular symbol, with a height dimension of **109' - 9"**.
- 2" TYP**: Dimensioned at the bottom left corner.



SITE AND LANDSCAPE MATERIALS

ADD ALTERNATES

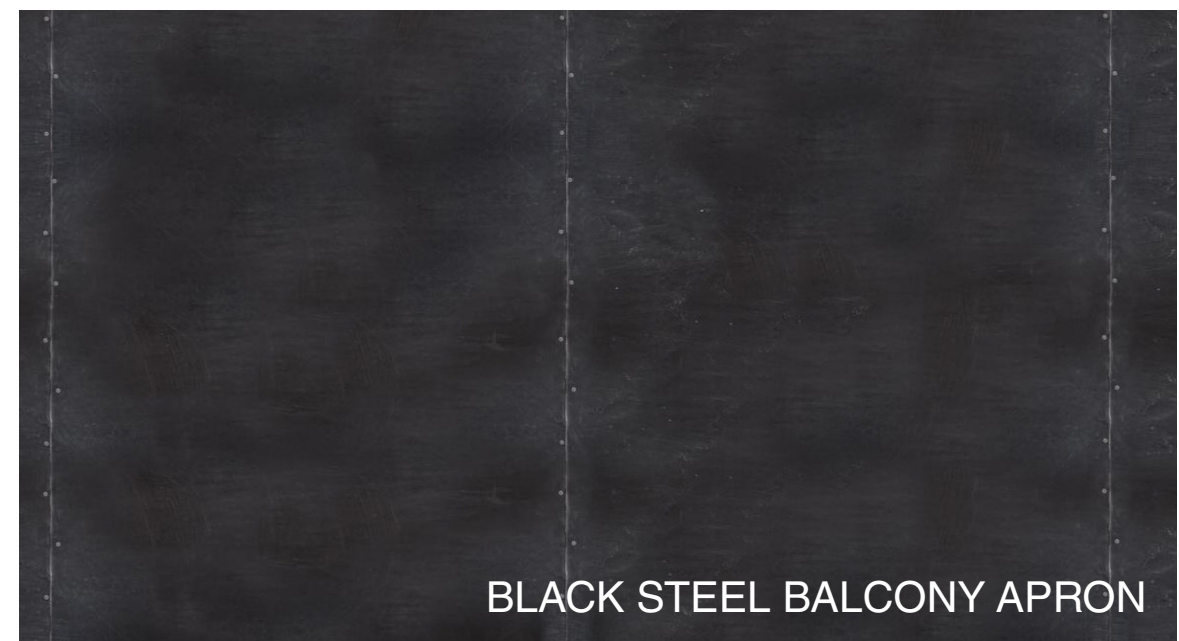


STEEL CABLE TRELLIS

ALTERNATE 1 MATERIALS



METAL SCREENWALL



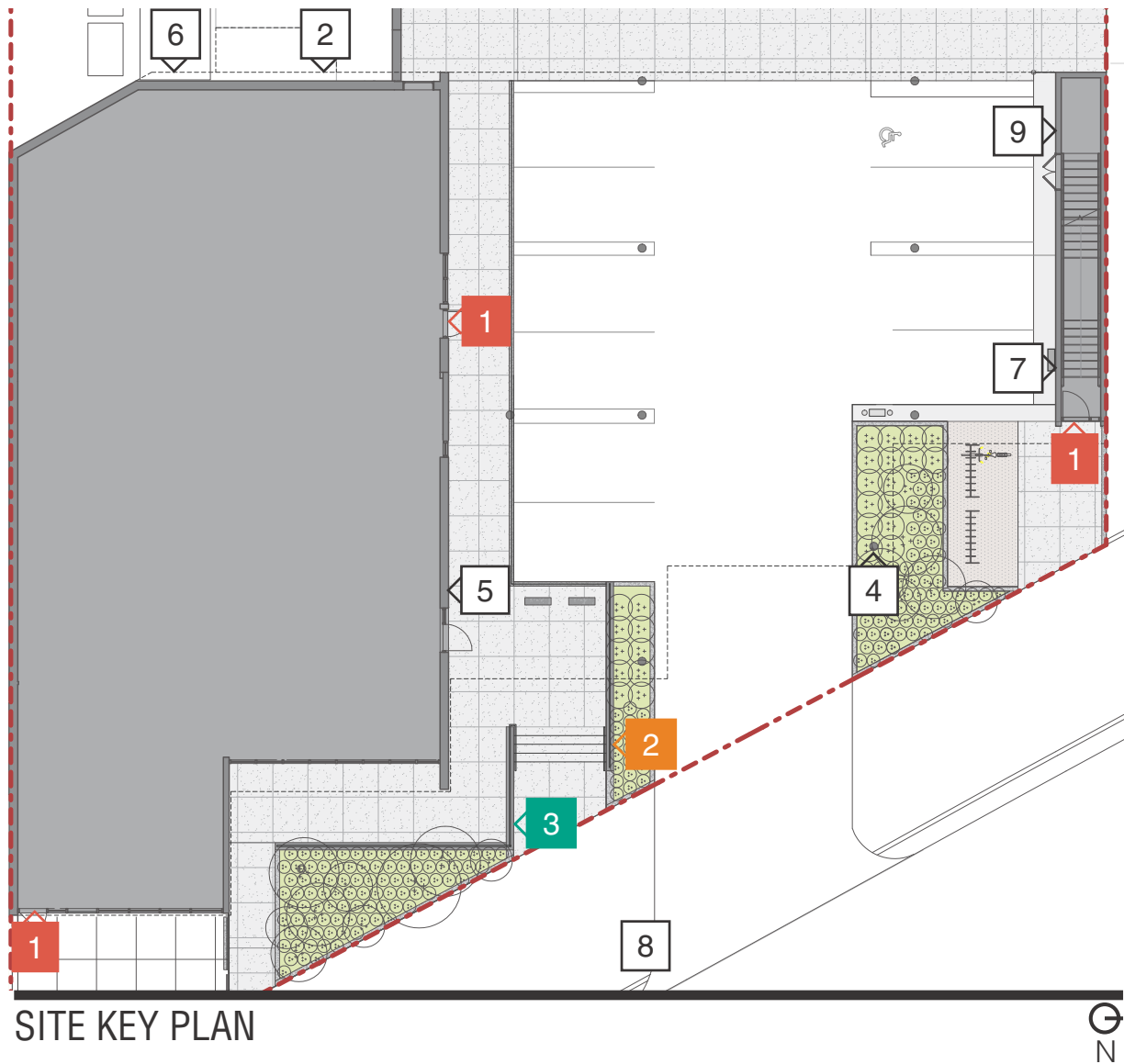
BLACK STEEL BALCONY APRON

ALTERNATE 2 MATERIALS

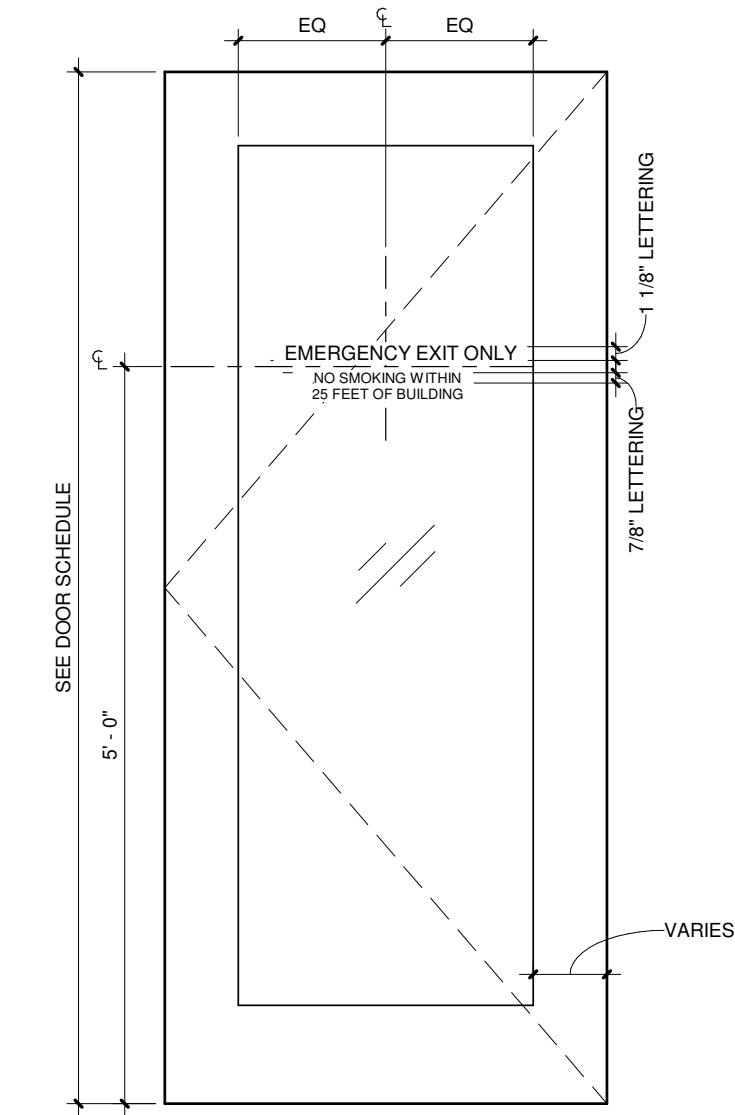


EXTERIOR SIGNAGE

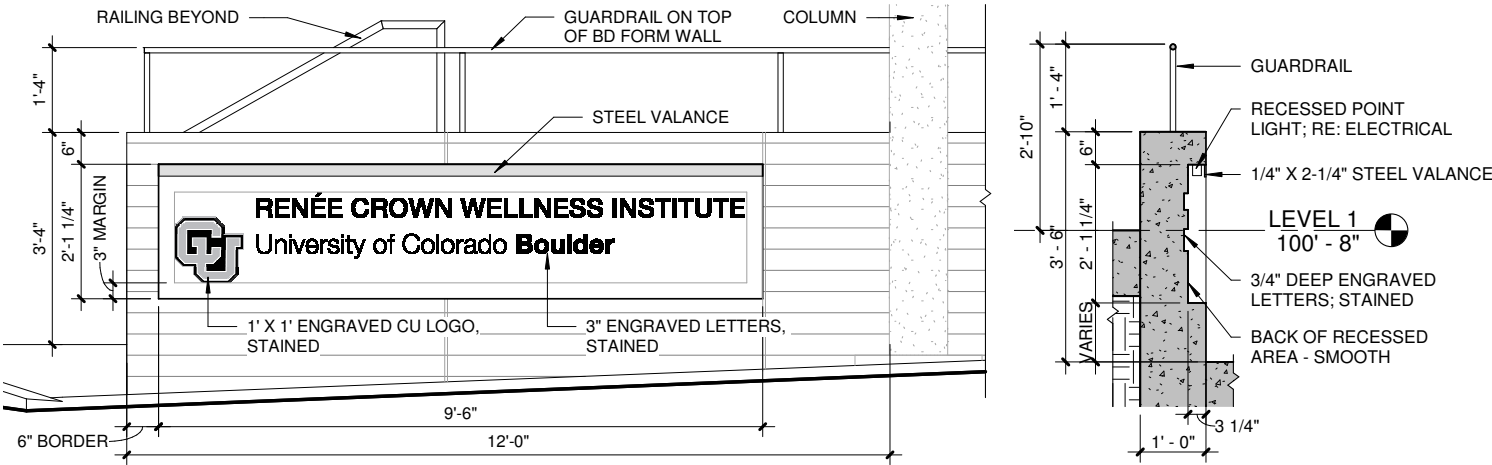
KEY PLAN + DETAILS



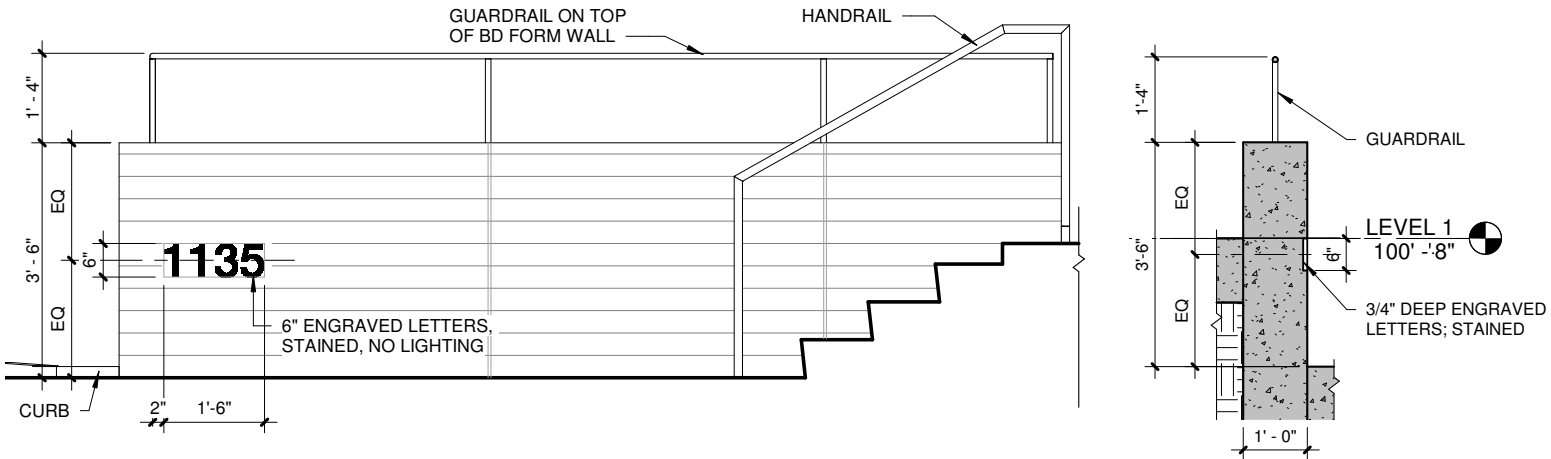
SITE KEY PLAN



1 EMERGENCY EXIT ONLY



2 ENGRAVED BUILDING NAME



3 ENGRAVED BUILDING NUMBER